



### EN1: Energy Cost Budget Worksheet

Do Not Submit Separately. Must be incorporated in the drawing set. Must be typewritten.

**1 Location Information** Required for all applications.

House No: 221 Street Name: West 57th Street CB No. 105  
Block: 1029 Lot: 14 BN: 1080870  
Work on Floor(s): SC3 thru B3 Apt/Condo No: N/A

**2 Applicant Information** Required for all applications.

Last Name: McHugh First Name: Christopher Middle Initial:  
Business Name: AKF Group Business Telephone: 646-758-0900  
Business Address: 1501 Broadway, Suite 700 Business Fax:  
City: New York State: NY Zip: 10036 Mobile Telephone:  
E-Mail: License Number: 73130

Energy Model Inputs		
NYS approved energy model software: eQUEST v3.6.4		
Envelope	Proposed Design Input	Budget (Standard Design) Input
Above-grade wall U-Factor	0.160	0.084
Below-grade wall U-Factor	0.04	0.04
Floor construction U-Factor	0.05	0.048
Exterior floor U-Factor	0.04	0.04
Slab-on-grade construction (yes/no)	No	No
Window-to-gross wall ratio	0.405	0.397
Average fenestration assembly U-Factor	0.411	0.508
Average fenestration assembly SHGC	0.314	0.4
Fixed shading devices (yes/no)	No	No
Automated movable shading devices (yes/no)	No	No
Lighting		
Average ambient lighting power density (W/SP)	0.8837	0.8271
Lighting on/off sensor controls (yes/no)	No	No
Automatic daylighting controls (yes/no)	No	No
Exterior lighting power (tradable surfaces) (kW)	8.00	5.10
Exterior lighting power (non-tradable surfaces) (kW)	55.56	55.56
Heating, Ventilating & Air Conditioning		
Refrigeration equipment type	Retail: VAV units w Air Cooled Chiller / BOH: Amenity: Pkgd VAV units w Water Cooled Condenser / Residential: PTHP units and Heat Recovery Ventilators Units	Retail: Pkgd VAV units w Air Cooled Condenser / BOH: Amenity: VAV units with Chiller / Residential: PTHP units and Heat Recovery Ventilators Units
Heating equipment type	Retail: Boilers / Amenities: BOH: Pkgd units w Heat Pump Heating / Residential: PTHP units, HW baseboard and Heat Recovery Ventilators Units	Retail: Boilers / Amenities: BOH: Pkgd units w Heat Pump Heating / Residential: PTHP units, HW baseboard and Heat Recovery Ventilators Units
Demand controlled ventilation (yes/no)	No	No
Economizer type (air or water)	Air	Air
Domestic hot water heating source	Retail - Electric / Residential - Hot Water	Retail - Electric / Residential - Hot Water

01/11

EN1		
Unregulated Energy	Proposed Design Input	Budget (Standard Design) Input
Average receptacle equipment power density (W/SP)	0.397	0.397
Average unregulated lighting power density (W/SP)	N/A	N/A
Other process loads	Elevators - 209 kW factoring with anticipated occupancy throughout day	Elevators - 209 kW factoring with anticipated occupancy throughout day

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Energy Cost Budget Performance	Proposed Design Output	Budget (Standard Design) Output
Annual Regulated Energy Cost (\$)	3,278,638	3,573,947
Annual Regulated Energy Use (BTU/GSF)	70,116	71,769
Annual Regulated Energy Cost Per Sq. Ft. (\$/GSF)	2,746	2,993

Energy Model Output Breakdown		
Energy Use Breakdown	Proposed Design Output (% BTU/yr)	Budget (Standard Design) Output (% BTU/yr)
Heating	24	33
Cooling	12	15
Heat rejection	0	0
Fans	15	8
Pumps	16	11
Lighting	16	15
Unregulated loads (e.g. plug loads, elevators, occupant, kitchen, process equipment, exterior lighting)	16	16
Total	100%	100%

Falsification of any statement is a misdemeanor under § 26-126 of the NYC Administrative Building Code and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both.

Name (please print): Christopher McHugh  
Signature: \_\_\_\_\_



P.E. / R.A. Seal (apply seal, then sign and date over seal)

01/11

Inspection/ Test	Periodic (minimum)	Reference Standard (See ECC Chapter 6) or Other Criteria	ECC or Other Citation	This Inspection Required
IIA Envelope Inspections				YES NO
IIA1 Protection of exposed foundation insulation: Insulation shall be visually inspected to verify proper protection where applied to the exterior of basement or cellar walls, foundation walls and the perimeter of slab-on-grade floors.	As required during construction documents	Approved construction documents	303.2.1, ASHRAE 90.1 - 5.8.1.7	● ○
IIA2 Insulation placement and R-values: Insulated foundation for each component of the conditioned space envelope and at junctions between components shall be visually inspected to ensure that the R-values are marked, that such R-values conform to the R-values identified in the construction documents and that the insulation is properly installed. Certification of installed insulation shall be similarly visually inspected.	As required to verify continuous enclosure while walls, ceilings and floors are open	Approved construction documents	303.1, 303.1.1, 303.1.2, 502.2, ASHRAE 90.1 - 5.5.5.6 or 11, 5.8.1	● ○
IIA3 Penetration thermal values and product ratings: U-factors and SHGC values of installed fenestration shall be visually inspected for conformance with the U-factors and SHGC values identified in the construction drawings by verifying the manufacturer's NFRC label or, where not labeled, using the ratings in FCC Tables 303.1.5(1), (2) and (3). Where ASHRAE 90.1 is used, visible light transmittance values shall also be verified.	As required during construction documents	Approved construction documents; NFRC 100, NFRC 200	303.1, 303.1.3, ASHRAE 90.1 - 5.5.5.6 or 11, 5.8.2	● ○
IIA4 Fenestration and door assembly product ratings for air leakage: Windows and exterior or swinging door assemblies, except site-built, shall be visually inspected to verify that installed assemblies are labeled and labeled by the manufacturer to the referenced standard.	As required during construction documents	NFRC 600, AAMA/WDMA/CSA 1013.2-24/40, ASTM E283, ANSI AAMA 105	502.4, ASHRAE 90.1 - 5.4.3.2	● ○
IIA5 For curtain wall, storefront glazing, commercial entrance doors and revolving doors, the testing reports shall be reviewed to verify that the installed assembly complies with the standard cited in the approved plans.	Prior to final construction inspection	Approved construction documents	502.3, ASHRAE 90.1 - 5.5.4, 5.6 or 11	● ○
IIA6 Sealing: Openings and penetrations in the building envelope, including site-built fenestration and doors, shall be visually inspected to verify that a continuous air barrier around the envelope exists at all openings.	As required during construction documents	Approved construction documents; ASTM E2178, ASTM E2137, ASTM E1407, ASTM E779, ASTM E283	502.4.3, 502.4.5, ASHRAE 90.1 - 5.4.3.1	● ○
IIA7 The progress inspector shall visually inspect to verify that materials and/or assemblies have been tested and meet the requirements of the respective standards, or that the building is tested and meets the requirements of the standard, in accordance with the standard(s) cited in the approved plans.	Prior to final construction inspection	Approved construction documents; including energy analysis	502.3, ASHRAE 90.1 - 5.5.4, 5.6 or 11	○ ●
IIA8 Loading dock weatherstrips: Weatherstrips at loading docks shall be visually inspected.	Prior to final construction documents	Approved construction documents	502.4.5, ASHRAE 90.1 - 5.4.3.1	● ○
IIA9 Building entrance vestibules: Required entrance vestibules shall be visually inspected prior to proper operation.	Prior to final construction inspection	Approved construction documents	502.4.6, ASHRAE 90.1 - 5.4.3.4	● ○
IIIB Mechanical and Service Water Heating Inspections				
IIIB1 Heatpipes: Presence of combustion air and tight-fitting fireplace doors shall be verified by visual inspection.	Prior to final construction documents; also MC 904, ANSI Z21.50	Approved construction documents; ANSI Z21.50 (see also MC 904, ANSI Z21.50)	303.1.5, BC 2111, MC 904, Chapter 7-9, ICC Chapter 6	○ ●
IIIB2 Outdoor air intakes and exhaust openings: Dampers for attic and exterior shall vents and other outdoor air intakes and exhaust openings integral to the building envelope shall be visually inspected to verify that such dampers, except where permitted to be gravity dampers, comply with approved construction drawings.	As required during construction documents; AMCA 500D	Approved construction documents; AMCA 500D	502.4.4, ASHRAE 90.1 - 6.4.3.4	● ○
IIIB3 HVAC, service water heating and pool equipment sizing and performance: Equipment sizing, efficiencies and other performance factors of all major equipment units, as determined by the applicant or owner, and no less than 15% of minor equipment units, shall be verified by visual inspection and, where necessary, review of manufacturer's literature shall be reviewed to verify that the product has been tested and found to meet the standard.	Prior to final plumbing and construction inspection	Approved construction documents	503.2, 504.2, 504.7, ASHRAE 90.1 - 6.3, 6.4.1, 6.4.2, 6.8, 7.4, 7.8	● ○
IIIB4 HVAC system controls and economizers and service hot water system controls: No less than 20% of each type of required controls and economizers shall be verified by visual inspection and tested for functionality and proper operation. Such controls shall include, but are not limited to: <ul style="list-style-type: none"><li>Thermostatic</li><li>Set point overlap restriction</li><li>Off-hour</li><li>Shutoff damper</li><li>Sewer-air system</li><li>Demand control systems</li><li>Outdoor heating systems</li><li>Zones</li><li>Freezeover</li><li>Air systems</li><li>Variable air volume fan</li><li>Hydronic systems</li><li>Heat rejection equipment fan speed</li><li>Complex mechanical systems serving multiple zones</li><li>Ventilation</li><li>Energy recovery systems</li><li>Hot gas bypass limitation</li><li>Temperature</li></ul>	After installation and prior to final electrical and construction inspection, except that for controls with seasonally dependent functionality, such testing shall be performed before sign-off for issuance of a Final Certificate of Occupancy	Approved construction documents, including control system narrative; ASHRAE Guideline 1: The HVAC Commissioning Process where applicable	503.2.8, 503.2.9, 503.2.11, 503.3, 504.4, 504.3, 504.6, 504.7, ASHRAE 90.1 - 6.3, 6.4, 6.5, 6.7.2.4, 7.4.4, 7.4.5	● ○

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0 4'-0" 8'-0" 16'-0"

NOT FOR BID / CONSTRUCTION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

AKF

ONE LIBERTY PLAZA, 165 BROADWAY, 22nd FLOOR  
NEW YORK, NY 10006  
T: 212 354 5656 F: 212 354 5668  
Mobile: 917 960 1000 Email: info@akf.com

PROJECT:

217 WEST 57TH STREET

NEW YORK, NY

DRAWING TITLE:

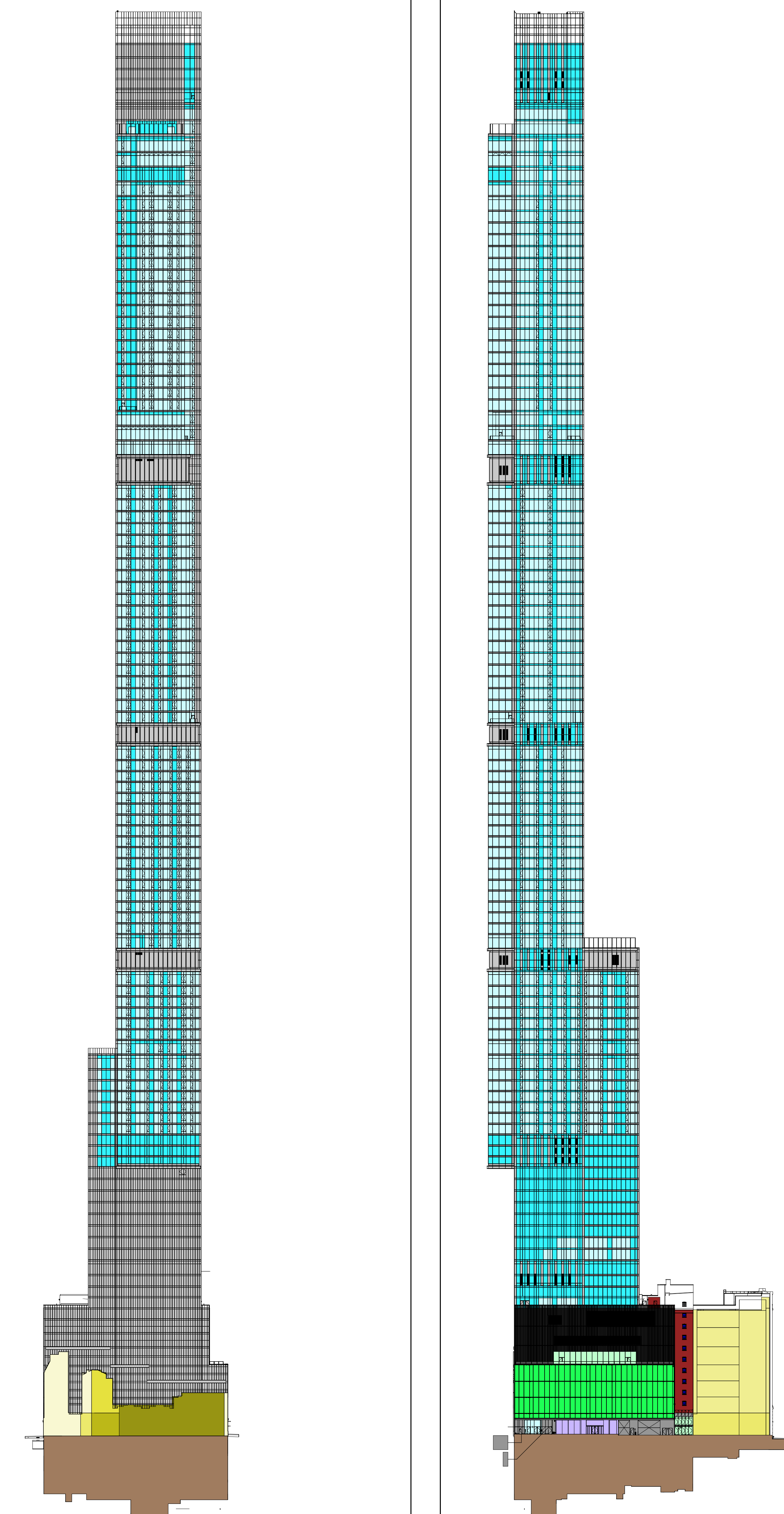
ENERGY CODE COMPLIANCE & TR-8

ENERGY CODE PROGRESS INSPECTION

SEAL & SIGNATURE:

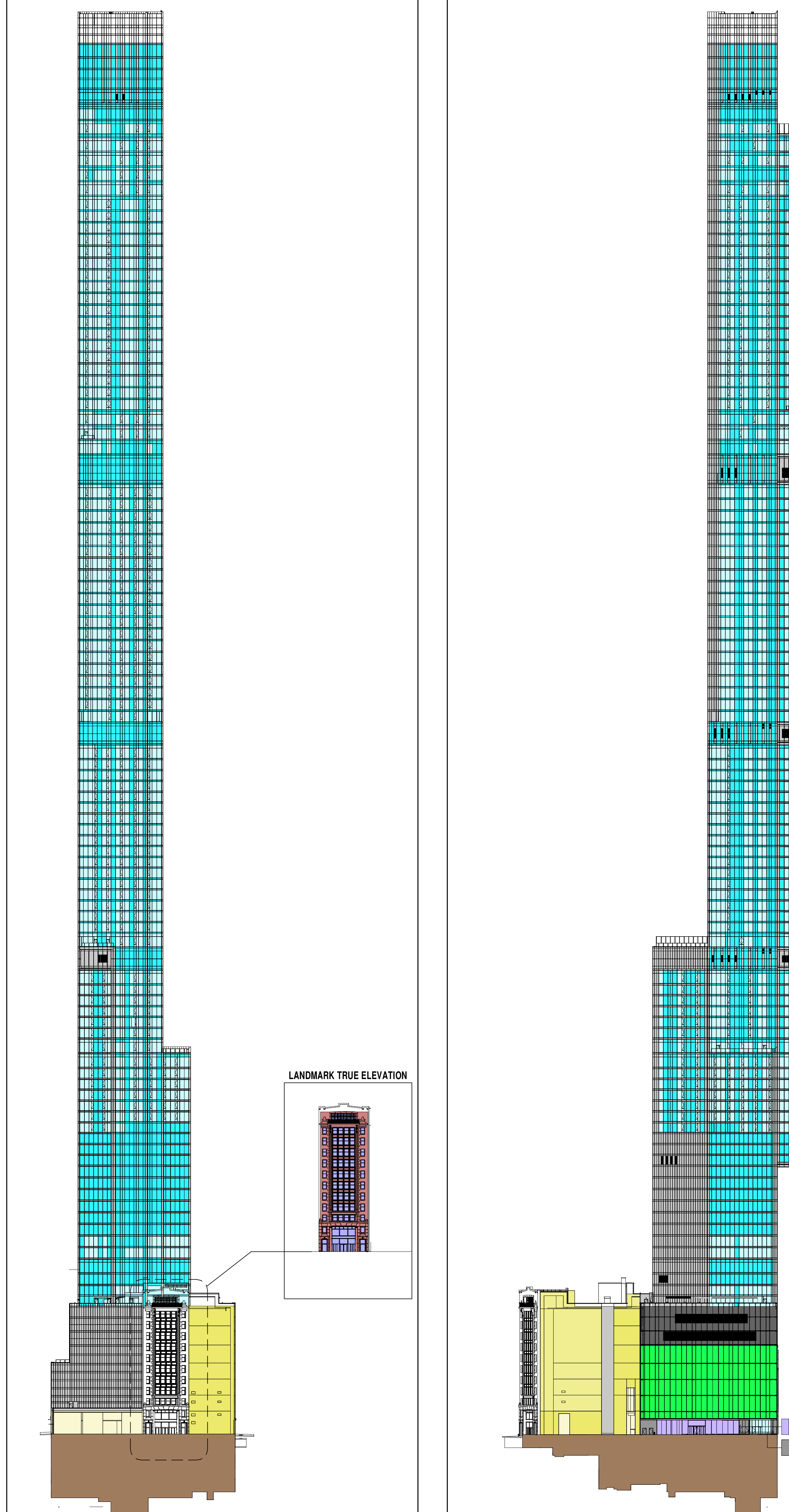
DATE: 12/16/14  
PROJECT No: Y130747-000  
DRAWN: Author  
CHK: Checker  
SCALE: 1/2" = 1'-0"  
DWG No: EN-100.01  
DOB PAGE No: 1 of 1  
DOB EMPLOYEE STAMP: DOB B-SCAN:

COMPLIANCE WITH ECCC-NYS NOTE:  
TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2011 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE, USING THE ASHRAE 90.1 ALTERNATE (LISTED IN NYCDC, 501.2).



5 EAST ELEVATION  
1/8" = 1'-0"

4 NORTH ELEVATION - WEST 56TH STREET  
1/8" = 1'-0"



3 WEST ELEVATION - BROADWAY  
1/8" = 1'-0"

2 SOUTH ELEVATION - WEST 57TH STREET  
1/8" = 1'-0"

BUILDING ENVELOPE - SOUTH ELEVATION					
ID	CONSTRUCTION MATERIAL	AREA TOTAL (SF)	% OF TOTAL	U-VALUE	SHGC
A	GLAZING VISION (G.U.)	28471	29.87%	0.38	0.26
B	GLAZING SPANDREL (G.U.)	59477	29.25%	0.17	N/A
C	ARCHITECTURAL METAL PANEL (INSULATED)	22639	11.31%	0.05	N/A
D	PODIUM METAL PANEL (INSULATED)	862	0.04%	0.07	N/A
E	AIR WELL LOUVER (NON-ACTIVE)	875	2.28%	0.16	N/A
F	LOUVER (ACTIVE)	2335	1.18%	12.00	N/A
G	PODIUM CURVED LOUVER	0	0.00%	0.22	N/A
H	RETAL GLAZING VISION (CURVED)	13769	8.87%	0.61	0.55
J	RETAL GLAZING VISION (G.U.)	0	0.00%	0.31	0.60
K	RETAL GLAZING VISION (STORE FRONT)	1803	0.90%	0.95	0.85
L1	ADJACENT BUILDING WALL AREA (LOT LINE)	763	0.00%	0.35	N/A
L2	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.63	N/A
L3	ADJACENT BUILDING WALL AREA (LOT LINE)	8003	4.25%	0.43	N/A
L4	ADJACENT BUILDING WALL AREA (LOT LINE)	8003	4.25%	0.43	N/A
L5	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.27	N/A
L6	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.20	N/A
J7	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.09	N/A
M	LANDMARK RECONSTRUCTION WALL AREA	0	0.00%	0.09	N/A
N	LANDMARK RECONSTRUCTION WINDOW AREA	0	0.00%	0.95	0.85
P	LANDMARK WALL AREA	0	0.00%	0.95	N/A
Q	LANDMARK WINDOW AREA	0	0.00%	0.95	0.85
TOTAL		200266	100.00%		
R	BELOW GRADE (WALLS 100% BELOW GRADE)	14254	24.42%	N/A	N/A

BUILDING ENVELOPE - WEST ELEVATION					
ID	CONSTRUCTION MATERIAL	AREA TOTAL (SF)	% OF TOTAL	U-VALUE	SHGC
A	GLAZING VISION (G.U.)	58994	39.89%	0.38	0.26
B	GLAZING SPANDREL (G.U.)	92461	29.70%	0.17	N/A
C	ARCHITECTURAL METAL PANEL (INSULATED)	22639	14.46%	0.05	N/A
D	PODIUM METAL PANEL (INSULATED)	0	0.00%	0.07	N/A
E	AIR WELL LOUVER (NON-ACTIVE)	0	0.00%	0.16	N/A
F	LOUVER (ACTIVE)	80	0.05%	12.00	N/A
G	PODIUM CURVED LOUVER	0	0.00%	0.22	N/A
H	RETAL GLAZING VISION (CURVED)	0	0.00%	0.61	0.55
J	RETAL GLAZING VISION (G.U.)	0	0.00%	0.31	0.60
K	RETAL GLAZING VISION (STORE FRONT)	0	0.00%	0.95	0.85
L1	ADJACENT BUILDING WALL AREA (LOT LINE)	2573	1.67%	0.35	N/A
L2	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.63	N/A
L3	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.43	N/A
L4	ADJACENT BUILDING WALL AREA (LOT LINE)	1534	0.95%	0.35	N/A
L5	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.27	N/A
L6	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.20	N/A
J7	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.09	N/A
M	LANDMARK RECONSTRUCTION WALL AREA	0	0.00%	0.09	N/A
N	LANDMARK RECONSTRUCTION WINDOW AREA	0	0.00%	0.95	0.85
P	LANDMARK WALL AREA	14950	9.26%	0.95	N/A
Q	LANDMARK WINDOW AREA	3135	1.91%	0.95	0.85
TOTAL		163918	100.00%		
R	BELOW GRADE (WALLS 100% BELOW GRADE)	14400	24.87%	N/A	N/A

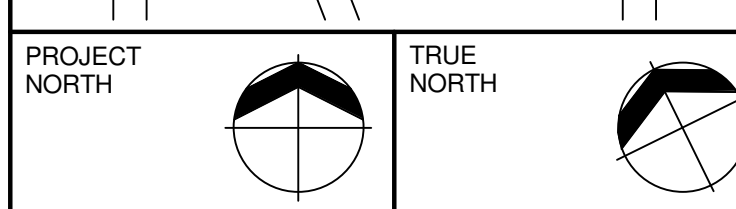
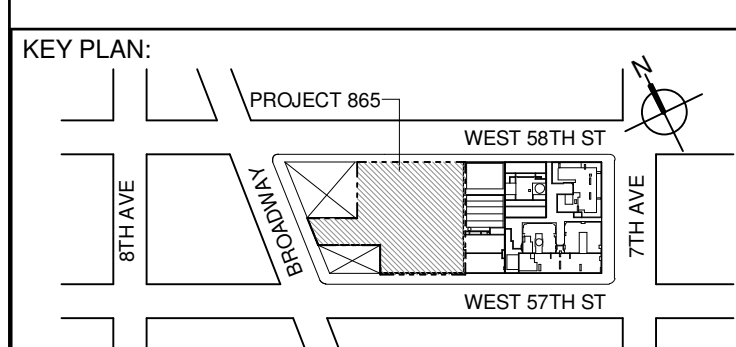
BUILDING ENVELOPE - NORTH ELEVATION					
ID	CONSTRUCTION MATERIAL	AREA TOTAL (SF)	% OF TOTAL	U-VALUE	SHGC
A	GLAZING VISION (G.U.)	82293	41.89%	0.38	0.26
B	GLAZING SPANDREL (G.U.)	93716	28.90%	0.17	N/A
C	ARCHITECTURAL METAL PANEL (INSULATED)	22639	11.31%	0.05	N/A
D	PODIUM METAL PANEL (INSULATED)	2094	1.03%	0.07	N/A
E	AIR WELL LOUVER (NON-ACTIVE)	0	0.00%	0.16	N/A
F	LOUVER (ACTIVE)	2340	1.67%	12.00	N/A
G	PODIUM CURVED LOUVER	7083	3.54%	0.22	N/A
H	RETAL GLAZING VISION (CURVED)	12003	5.95%	0.61	0.55
J	RETAL GLAZING VISION (G.U.)	1700	0.85%	0.31	0.60
K	RETAL GLAZING VISION (STORE FRONT)	1083	0.54%	0.95	0.85
L1	ADJACENT BUILDING WALL AREA (LOT LINE)	2573	0.00%	0.35	N/A
L2	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.63	N/A
L3	ADJACENT BUILDING WALL AREA (LOT LINE)	3480	4.73%	0.43	N/A
L4	ADJACENT BUILDING WALL AREA (LOT LINE)	1865	0.99%	0.35	N/A
L5	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.27	N/A
L6	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.20	N/A
J7	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.09	N/A
M	LANDMARK RECONSTRUCTION WALL AREA	2287	1.14%	0.09	N/A
N	LANDMARK RECONSTRUCTION WINDOW AREA	97	0.05%	0.95	0.85
P	LANDMARK WALL AREA	0	0.00%	0.95	N/A
Q	LANDMARK WINDOW AREA	0	0.00%	0.95	0.85
TOTAL		200266	100.00%		
R	BELOW GRADE (WALLS 100% BELOW GRADE)	15048	25.83%	N/A	N/A

BUILDING ENVELOPE - EAST ELEVATION					
ID	CONSTRUCTION MATERIAL	AREA TOTAL (SF)	% OF TOTAL	U-VALUE	SHGC
A	GLAZING VISION (G.U.)	61486	37.77%	0.38	0.26
B	GLAZING SPANDREL (G.U.)	93716	24.43%	0.17	N/A
C	ARCHITECTURAL METAL PANEL (INSULATED)	22639	16.83%	0.05	N/A
D	PODIUM METAL PANEL (INSULATED)	0	0.00%	0.07	N/A
E	AIR WELL LOUVER (NON-ACTIVE)	0	0.00%	0.16	N/A
F	LOUVER (ACTIVE)	49	0.03%	12.00	N/A
G	PODIUM CURVED LOUVER	0	0.00%	0.22	N/A
H	RETAL GLAZING VISION (CURVED)	0	0.00%	0.61	0.55
J	RETAL GLAZING VISION (G.U.)	0	0.00%	0.31	0.60
K	RETAL GLAZING VISION (STORE FRONT)	0	0.00%	0.95	0.85
L1	ADJACENT BUILDING WALL AREA (LOT LINE)	3311	2.00%	0.35	N/A
L2	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.63	N/A
L3	ADJACENT BUILDING WALL AREA (LOT LINE)	3480	4.73%	0.43	N/A
L4	ADJACENT BUILDING WALL AREA (LOT LINE)	299	0.18%	0.35	N/A
L5	ADJACENT BUILDING WALL AREA (LOT LINE)	1095	0.65%	0.27	N/A
L6	ADJACENT BUILDING WALL AREA (LOT LINE)	748	0.46%	0.20	N/A
J7	ADJACENT BUILDING WALL AREA (LOT LINE)	499	2.67%	0.09	N/A
M	LANDMARK RECONSTRUCTION WALL AREA	0	0.00%	0.09	N/A
N	LANDMARK RECONSTRUCTION WINDOW AREA	0	0.00%	0.95	0.85
P	LANDMARK WALL AREA	0	0.00%	0.95	N/A
Q	LANDMARK WINDOW AREA	0	0.00%	0.95	0.85
TOTAL		162760	100.00%		
R	BELOW GRADE (WALLS 100% BELOW GRADE)	14400	24.87%	N/A	N/A

BUILDING ENVELOPE SUMMARY CHART - GROSS WALL AREA					
ID	CONSTRUCTION MATERIAL	AREA TOTAL (SF)	% OF TOTAL	U-VALUE	SHGC
A	GLAZING VISION (G.U.)	280112	38.87%	0.38	0.26
B	GLAZING SPANDREL (G.U.)	197123	28.73%	0.17	N/A
C	ARCHITECTURAL METAL PANEL (INSULATED)	165339	22.74%	0.05	N/A
D	PODIUM METAL PANEL (INSULATED)	2046	0.03%	0.07	N/A
E	AIR WELL LOUVER (NON-ACTIVE)	862	0.00%	0.16	N/A
F	LOUVER (ACTIVE)	5834	0.80%	12.00	N/A
G	PODIUM CURVED LOUVER	7083	0.97%	0.22	N/A
H	RETAL GLAZING VISION (CURVED)	23769	3.34%	0.61	0.55
J	RETAL GLAZING VISION (G.U.)	1700	0.23%	0.31	0.60
K	RETAL GLAZING VISION (STORE FRONT)	2888	0.40%	0.95	0.85
L1	ADJACENT BUILDING WALL AREA (LOT LINE)	5667	0.90%	0.35	N/A
L2	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.63	N/A
L3	ADJACENT BUILDING WALL AREA (LOT LINE)	17863	2.47%	0.43	N/A
L4	ADJACENT BUILDING WALL AREA (LOT LINE)	14371	2.07%	0.35	N/A
L5	ADJACENT BUILDING WALL AREA (LOT LINE)	1095	0.15%	0.27	N/A
L6	ADJACENT BUILDING WALL AREA (LOT LINE)	748	0.10%	0.20	N/A
J7	ADJACENT BUILDING WALL AREA (LOT LINE)	499	0.63%	0.09	N/A
M	LANDMARK RECONSTRUCTION WALL AREA	2287	0.31%	0.09	N/A
N	LANDMARK RECONSTRUCTION WINDOW AREA	97	0.01%	0.95	0.85
P	LANDMARK WALL AREA	4935	0.67%	0.95	N/A
Q	LANDMARK WINDOW AREA	3135	0.43%	0.95	0.85
TOTAL		727160	100.00%		
R	BELOW GRADE (WALLS 100% BELOW GRADE)	58252	100.00%	N/A	N/A

BUILDING ROOF, SOFFIT, AND SLAB ON GRADE SUMMARY CHART					
ID	CONSTRUCTION MATERIAL	AREA TOTAL (SF)	% OF TOTAL	U-VALUE	SHGC
S	ROOF (RT-01 & RT-02)	4300	100.00%	0.04	N/A
T	SOFFIT (INSULATED)	4227	100.00%	0.00	N/A
U	SLAB ON GRADE	40704	100.00%	N/A	N/A

BUILDING ENVELOPE DESIGN INTENT ASSEMBLIES		
ID	CONSTRUCTION MATERIAL	U-VALUE SHGC
A	GLAZING VISION (G.U.)	0.38 0.26
B	GLAZING SPANDREL (G.U.)	0.17 N/A
C	ARCHITECTURAL METAL PANEL (INSULATED)	0.05 N/A
D	PODIUM METAL PANEL (INSULATED)	0.07 N/A
E	AIR WELL LOUVER (NON-ACTIVE)	0.10 N/A
F	LOUVER (ACTIVE)	12.00 N/A
G	PODIUM CURVED LOUVER	0.22 N/A
H	RETAL GLAZING VISION (CURVED)	0.61 0.55
J	RETAL GLAZING VISION (G.U.)	0.31 0.60
K	RETAL GLAZING VISION (STORE FRONT)	0.95 0.85
L1	ADJACENT BUILDING WALL AREA (LOT LINE)	0.35 N/A
L2	ADJACENT BUILDING WALL AREA (LOT LINE)	0.63 N/A
L3	ADJACENT BUILDING WALL AREA (LOT LINE)	0.43 N/A
L4	ADJACENT BUILDING WALL AREA (LOT LINE)	0.35 N/A
L5	ADJACENT BUILDING WALL AREA (LOT LINE)	0.27 N/A
L6	ADJACENT BUILDING WALL AREA (LOT LINE)	0.20 N/A
J7	ADJACENT BUILDING WALL AREA (LOT LINE)	0.09 N/A
M	LANDMARK RECONSTRUCTION WALL AREA	0.09 N/A
N	LANDMARK RECONSTRUCTION WINDOW AREA	0.95 0.85
P	LANDMARK WALL AREA	0.95 N/A
Q	LANDMARK WINDOW AREA	0.95 0.85
R	BELOW GRADE (WALLS 100% BELOW GRADE)	N/A N/A
S	ROOF (RT-01 & RT-02)	0.04 N/A
T	SOFFIT (INSULATED)	0.00 N/A
U	SLAB ON GRADE (UNHEATED)	N/A N/A



DEVELOPER:  
**EXTELL DEVELOPMENT COMPANY**  
805 THIRD AVENUE, 17TH FLOOR  
New York, NY 10022 USA  
TEL: 212 712 6000 FAX: 212 712 6100

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**AAI ARCHITECTS, P.C.**  
111 WEST MONROE STREET SUITE 2300  
CHICAGO IL 60603  
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MEP ENGINEERS:  
**AKF GROUP**  
1501 Broadway  
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**Langan Engineering & Environmental Services**  
21 Penn Plaza - 380 West 31st Street, 8th Floor  
New York, NY 10001-2277  
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CODE CONSULTANTS:  
**Construction Consulting Associates**  
100 Church Street  
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TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:  
**AJLP Consulting**  
40 Worth Street, Suite 828  
New York, NY 10013  
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:  
**Higgins Quasebarth & Partners LLC**  
11 Hanover Square, 16th Floor  
New York, NY 10005  
TEL: 212 274 9458 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:  
**Jan Hird Pokorny Associates, Inc.**  
50 West 57th Street, 12A  
New York, NY 10018  
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	D.O.B. SUBMISSION	05 DEC 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 7	29 JAN 16
9	CD ISSUE 8 - GMP SET	31 MAR 16
10	D.O.B. AMENDMENT 3	03 OCT 16

## D.O.B. SUBMISSION

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CONSULTANT:  
**AAI ARCHITECTS, P.C.**

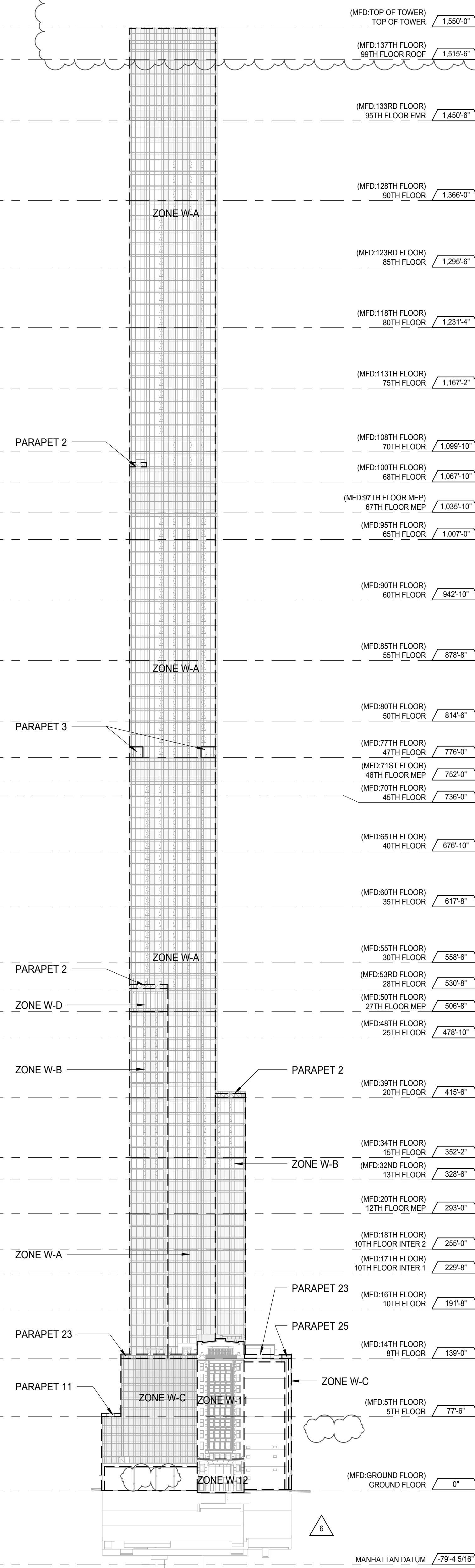
PROJECT:  
**217 WEST 57TH STREET  
NEW YORK, NY**

DRAWING TITLE:

## ENERGY CONSERVATION CODE - ENVELOPE AREAS

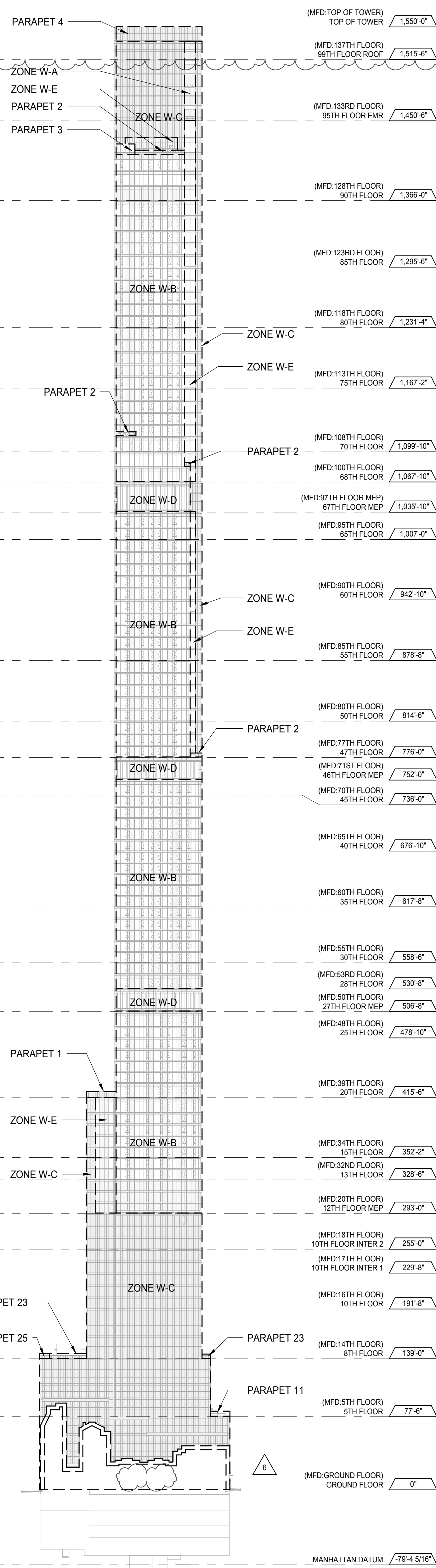
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CHECK: Checker  
SCALE: As indicated  
DWG NO: **A-090.02**  
DOB PAGE NO: 85 of 454  
DOB B-S-CAN:

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Under Directive 2 of 1975  
NYC Development Hub



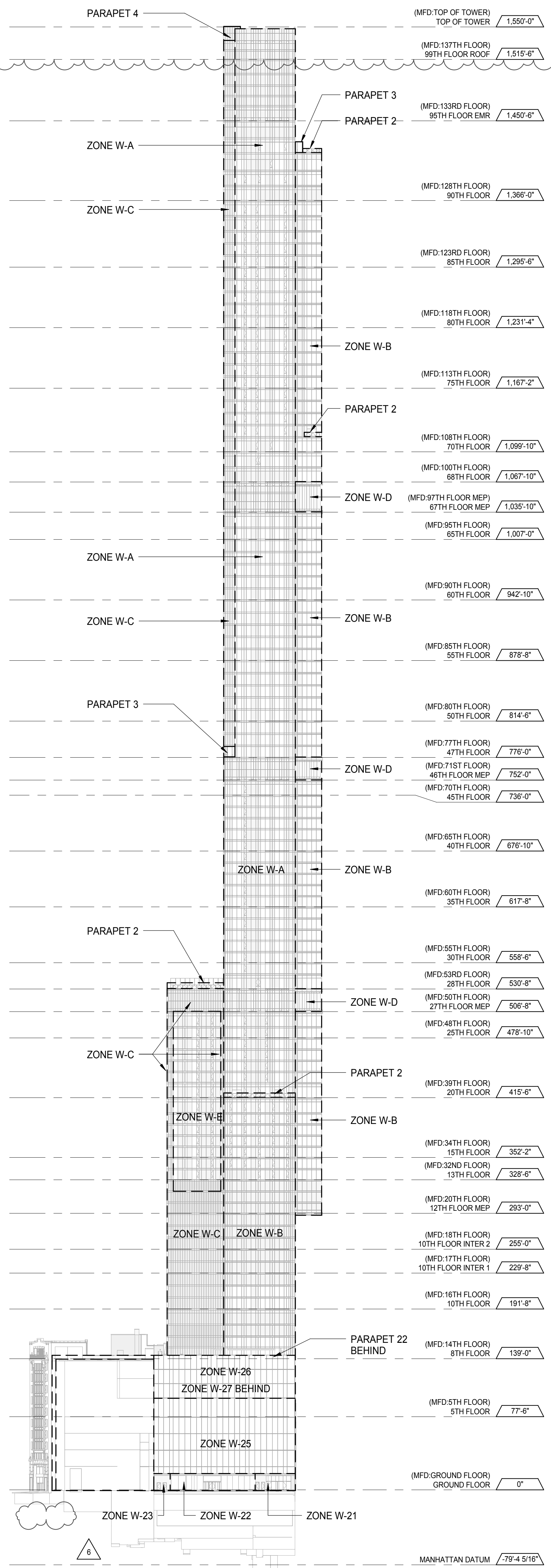
WEST ELEVATION 4

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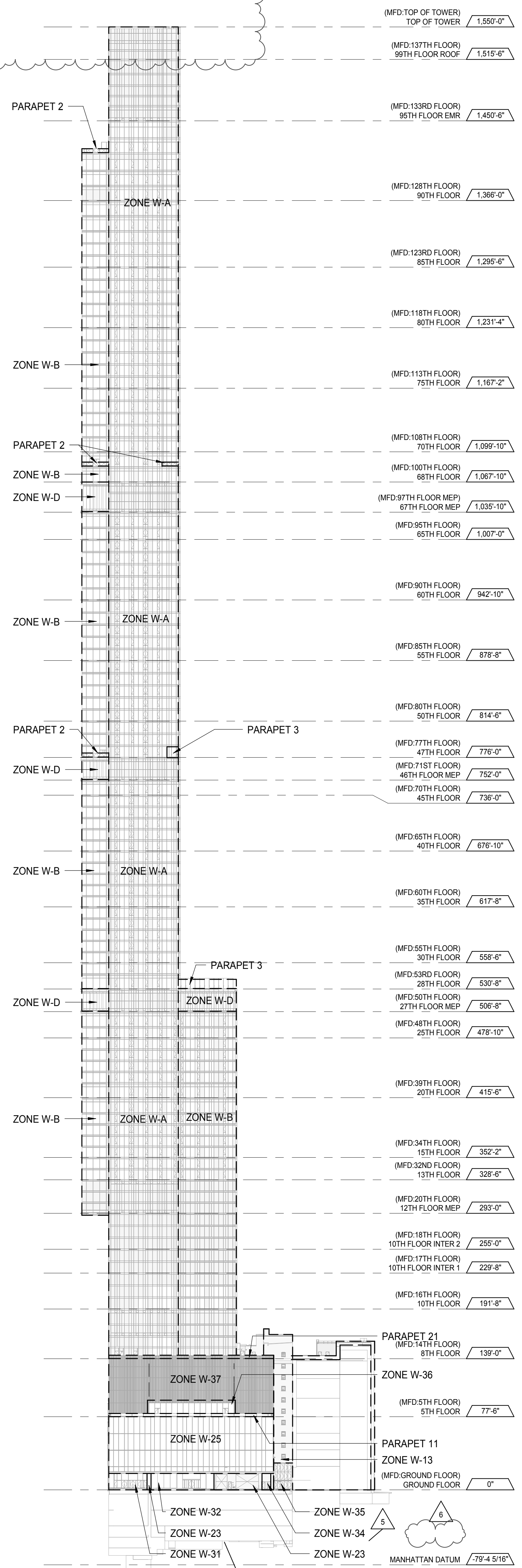
EAST ELEVATION 3

1/8" = 1'-0"



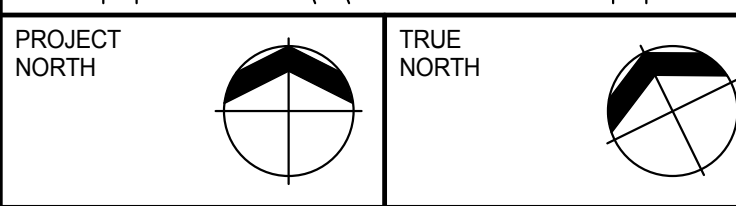
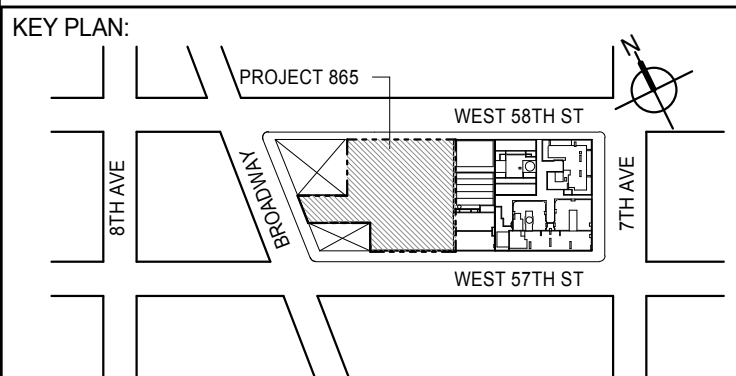
SOUTH ELEVATION 2

1/8" = 1'-0"



NORTH ELEVATION 1

1/8" = 1'-0"



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**  
805 THIRD AVENUE, 7TH FLOOR  
NEW YORK, NY 10022 USA  
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **Base Building Shell & Core**  
**ADRIAN SMITH + GORDON GILL ARCHITECTURE**  
111 WEST MONROE STREET SUITE 2300  
CHICAGO, IL 60603  
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Residential**  
**Rottet Architecture and Design Studio, PLLC**  
228 FIFTH AVE., 7th Floor  
NEW YORK, NY 10001  
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **Base Building Shell, Core & Residential**  
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LANDMARK PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**  
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NEW YORK, NY 10019  
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 5	10 AUG 15
	D.O.B. AMENDMENT 2	21 SEP 15

0 32'-0" 64'-0" 128'-0"

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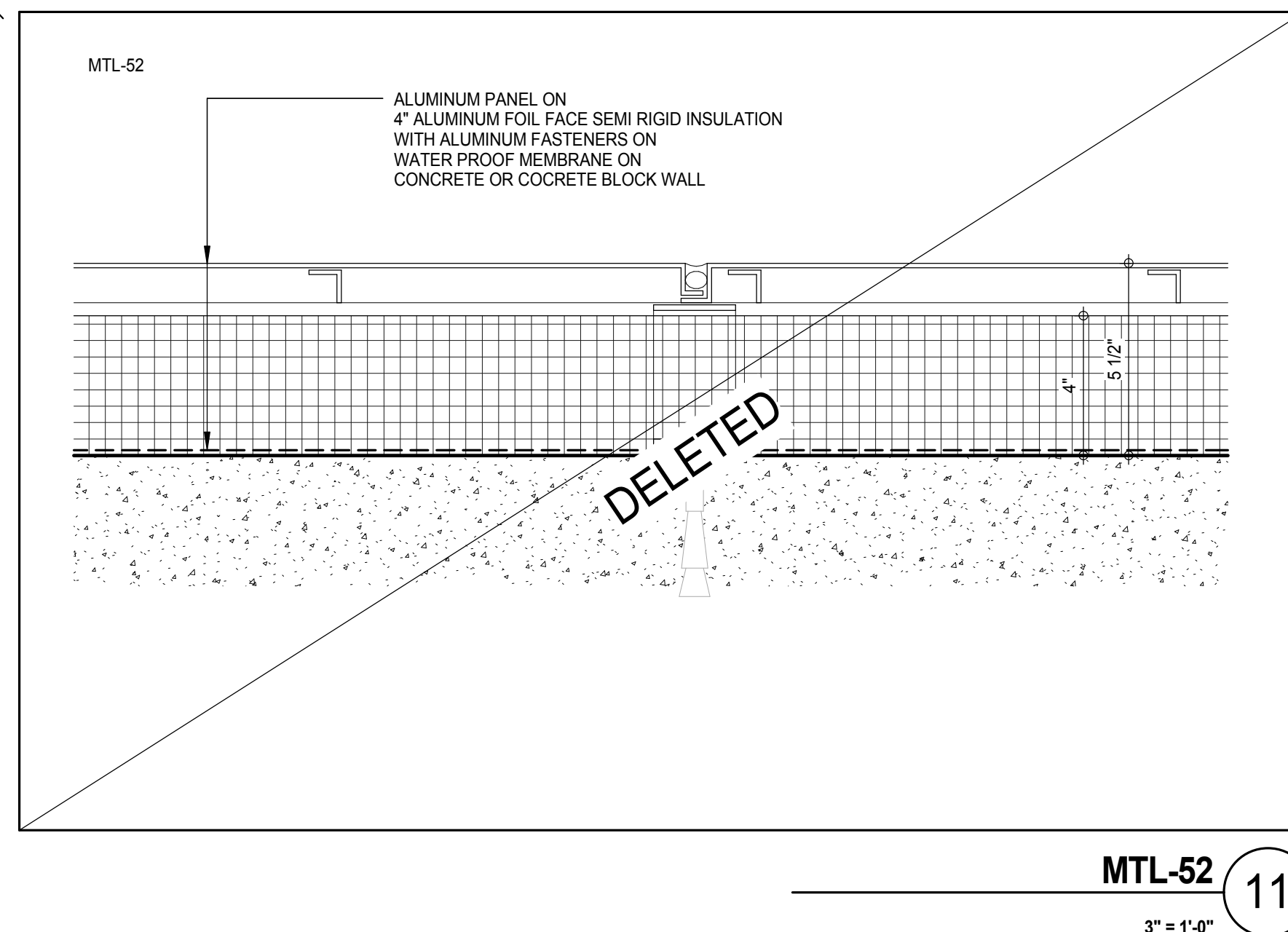
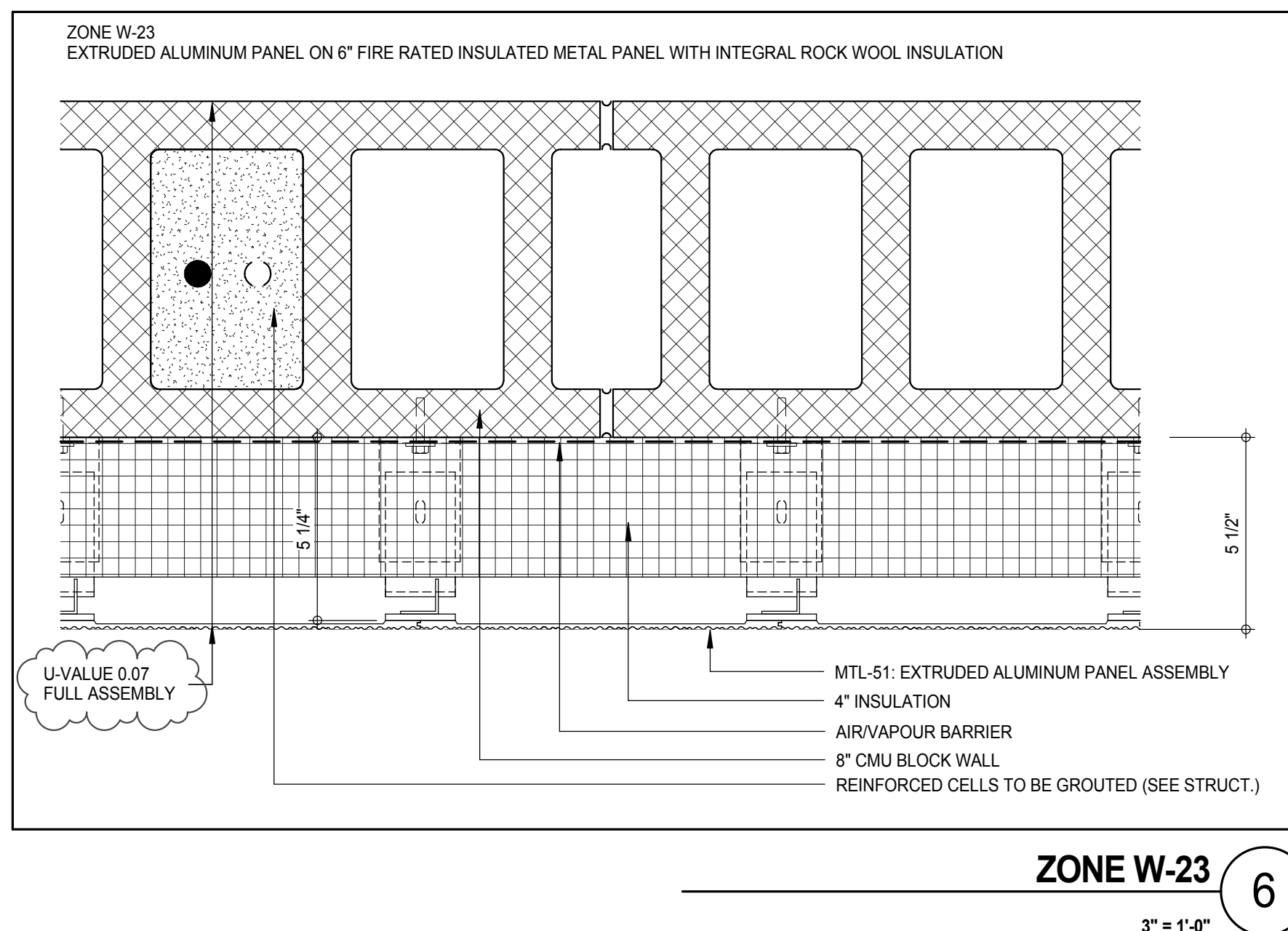
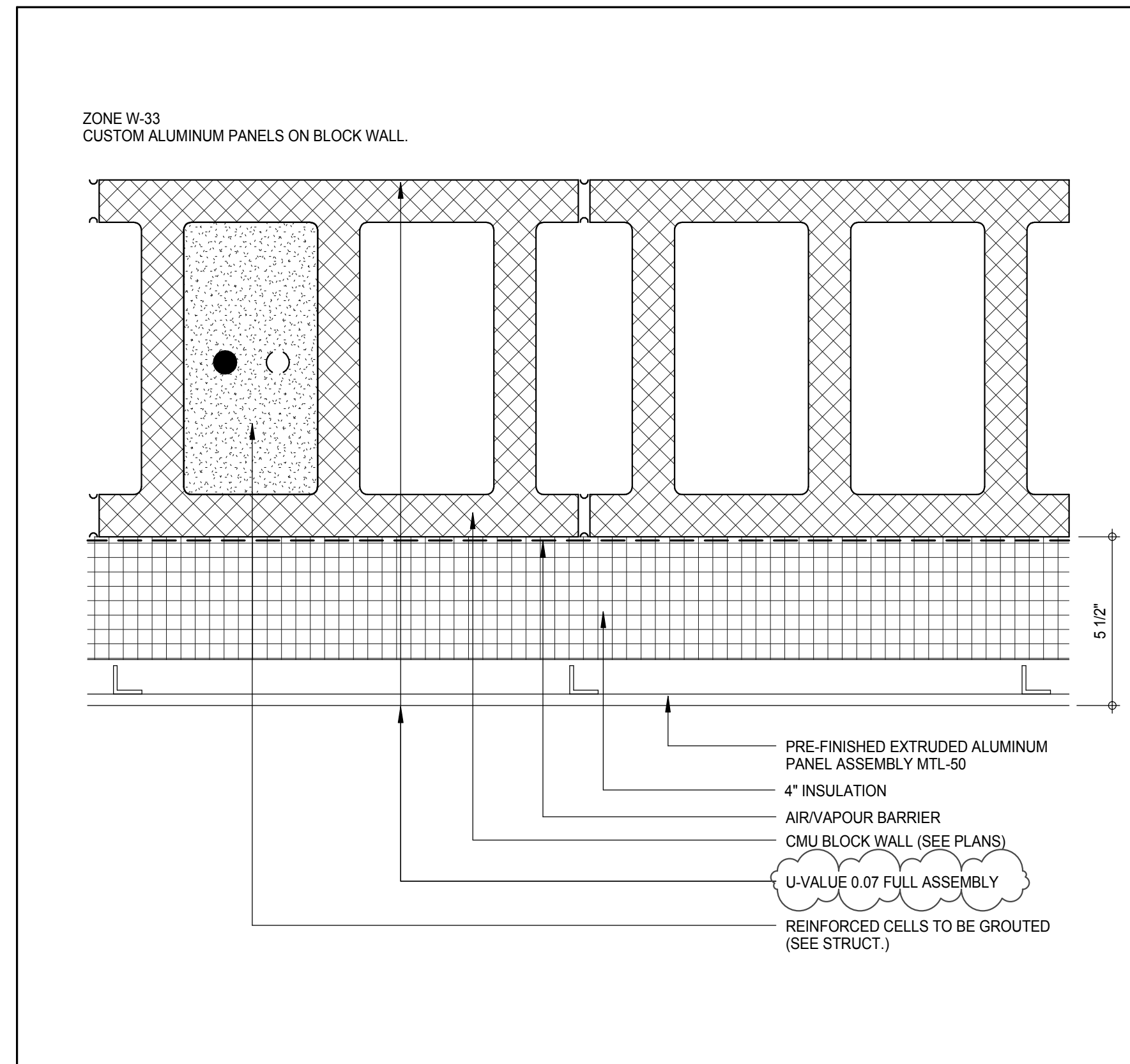
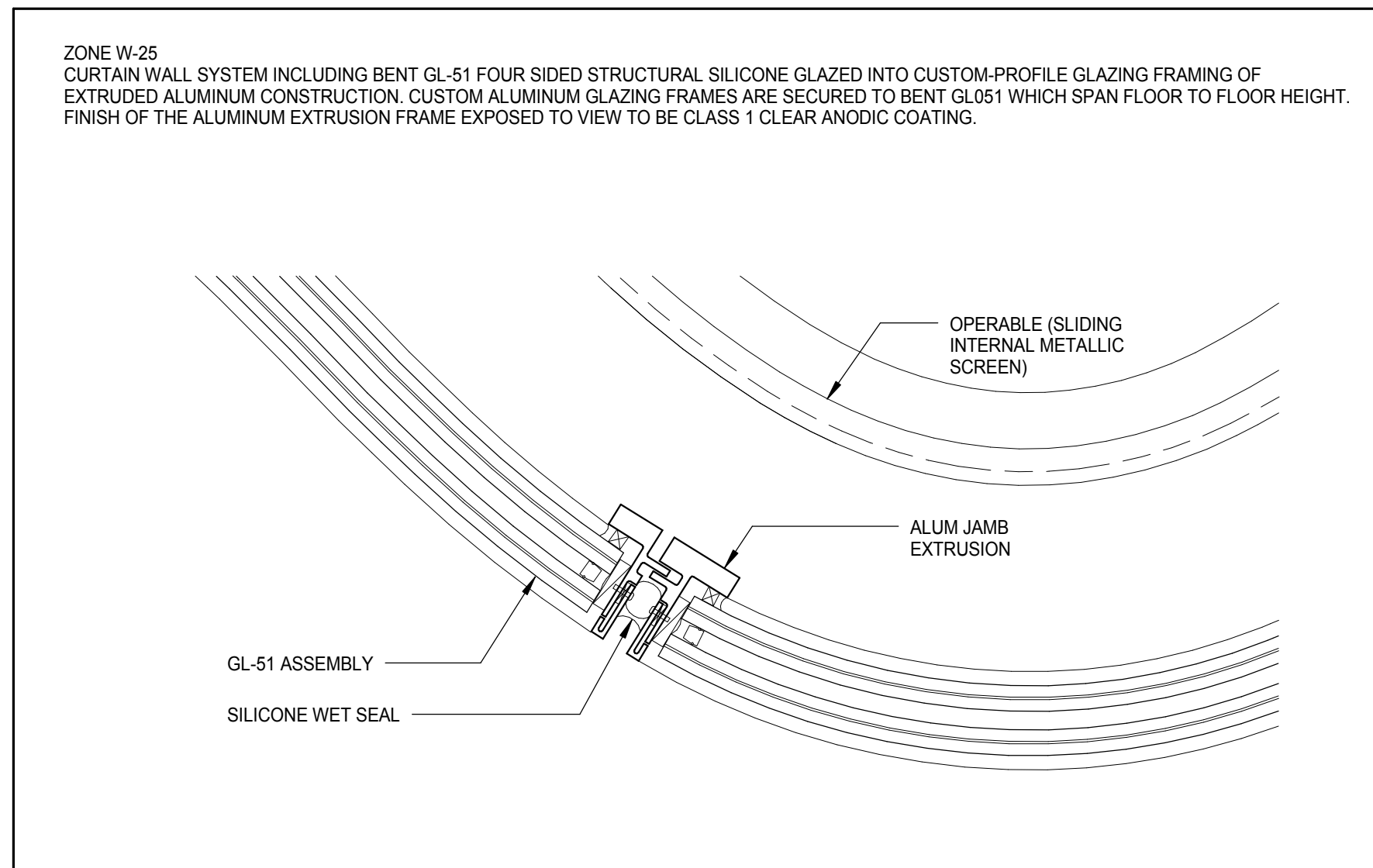
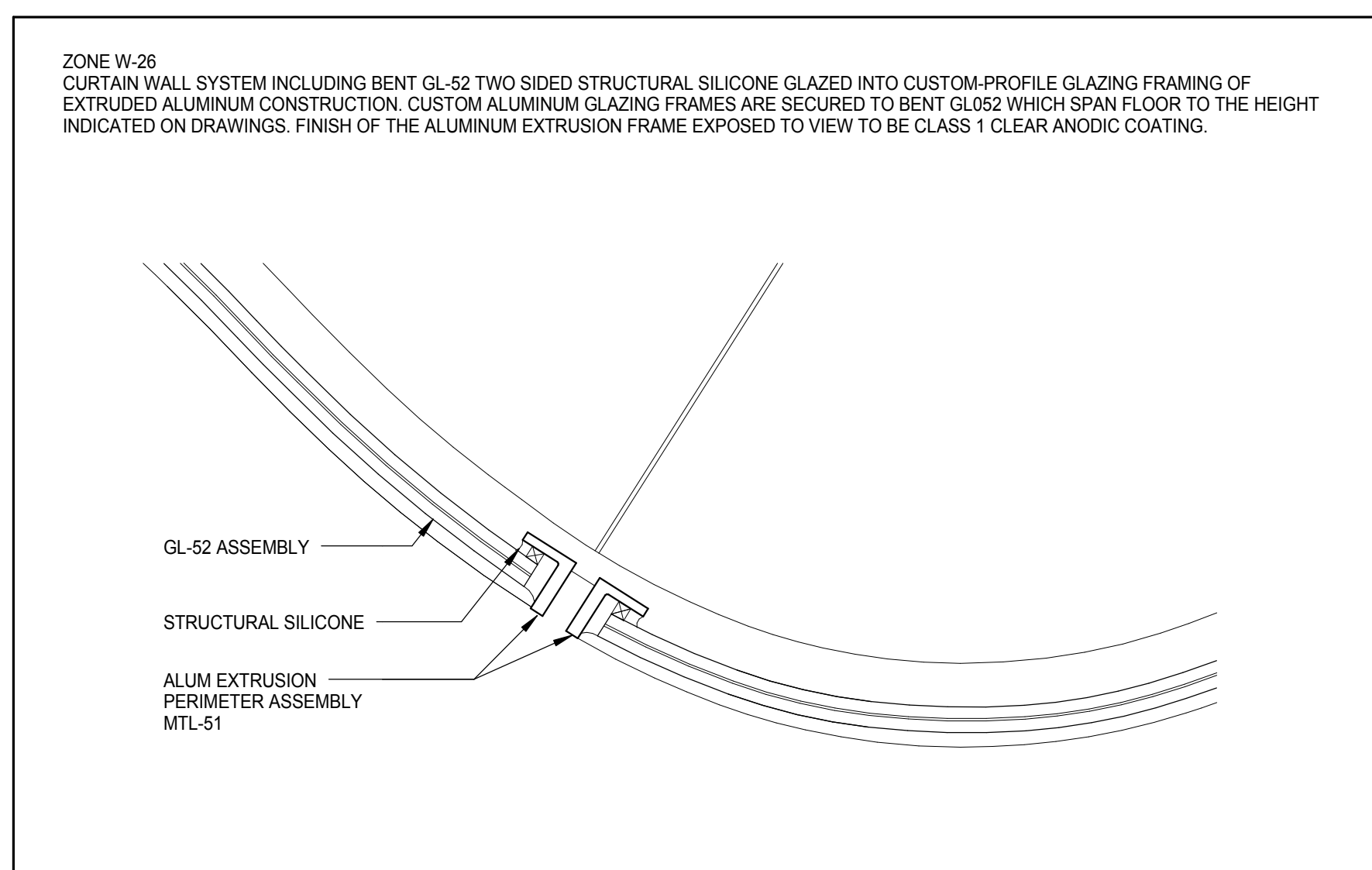
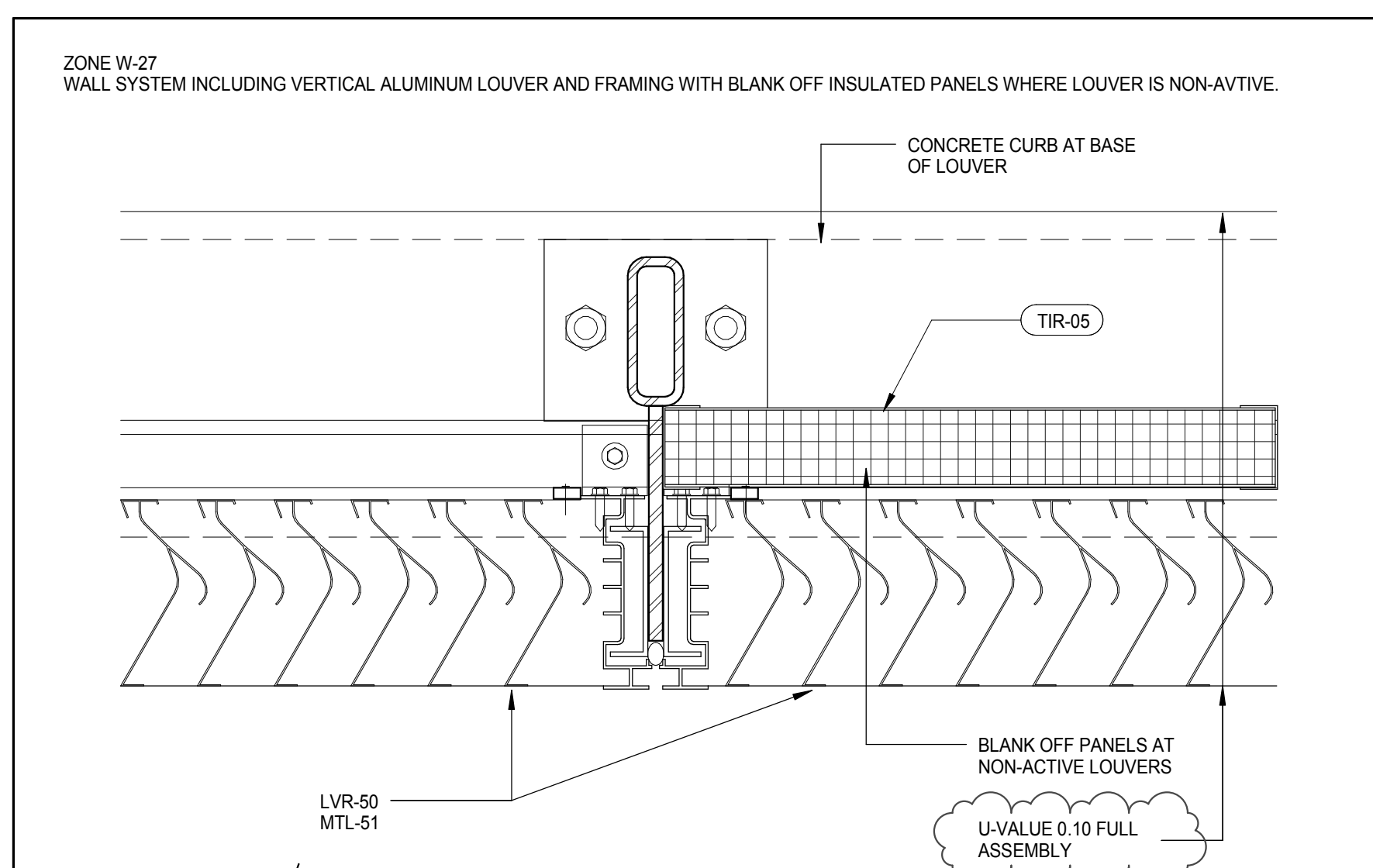
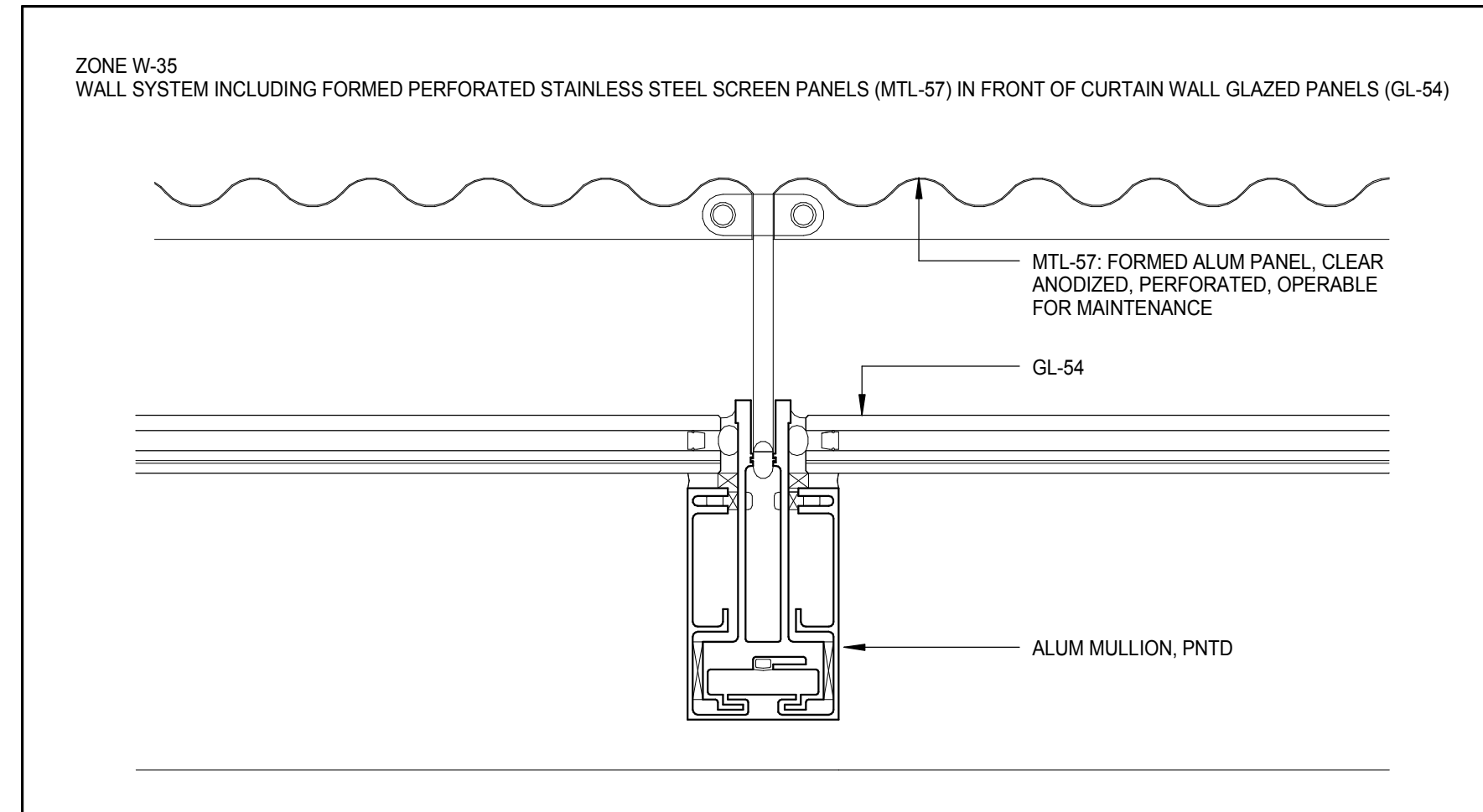
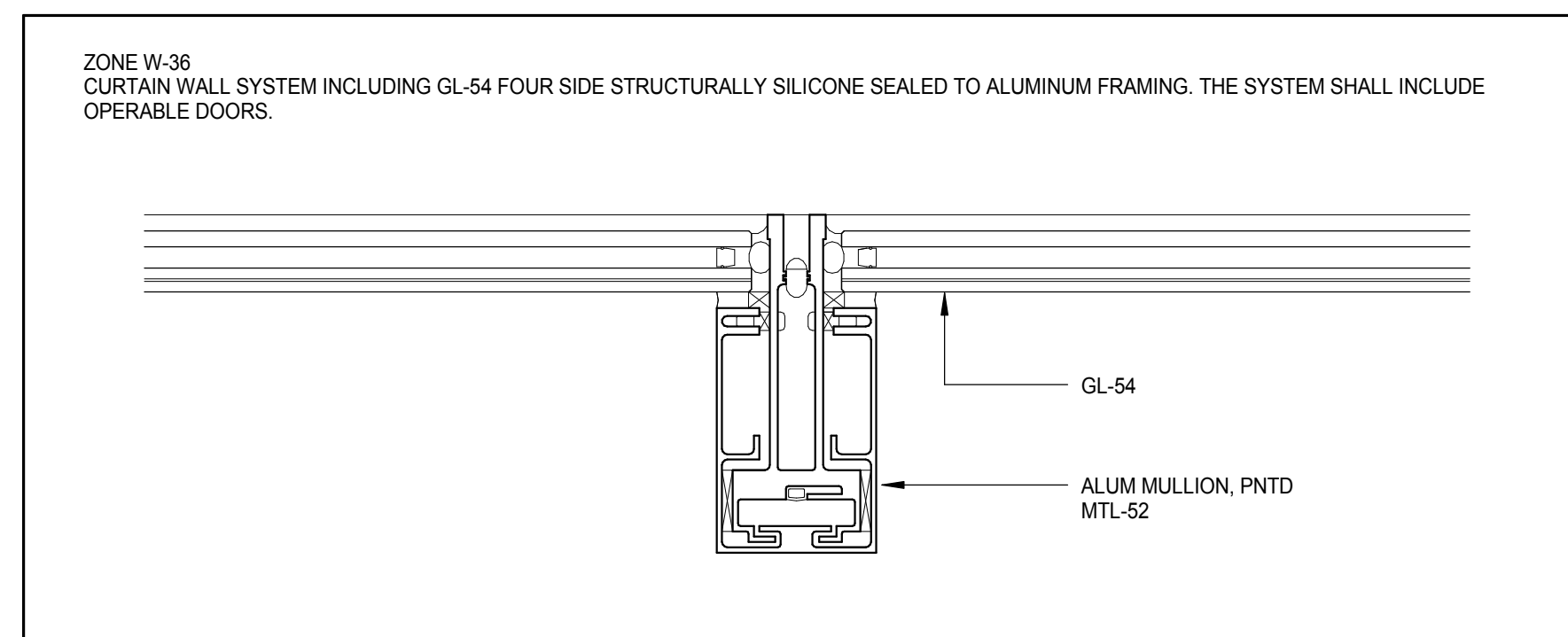
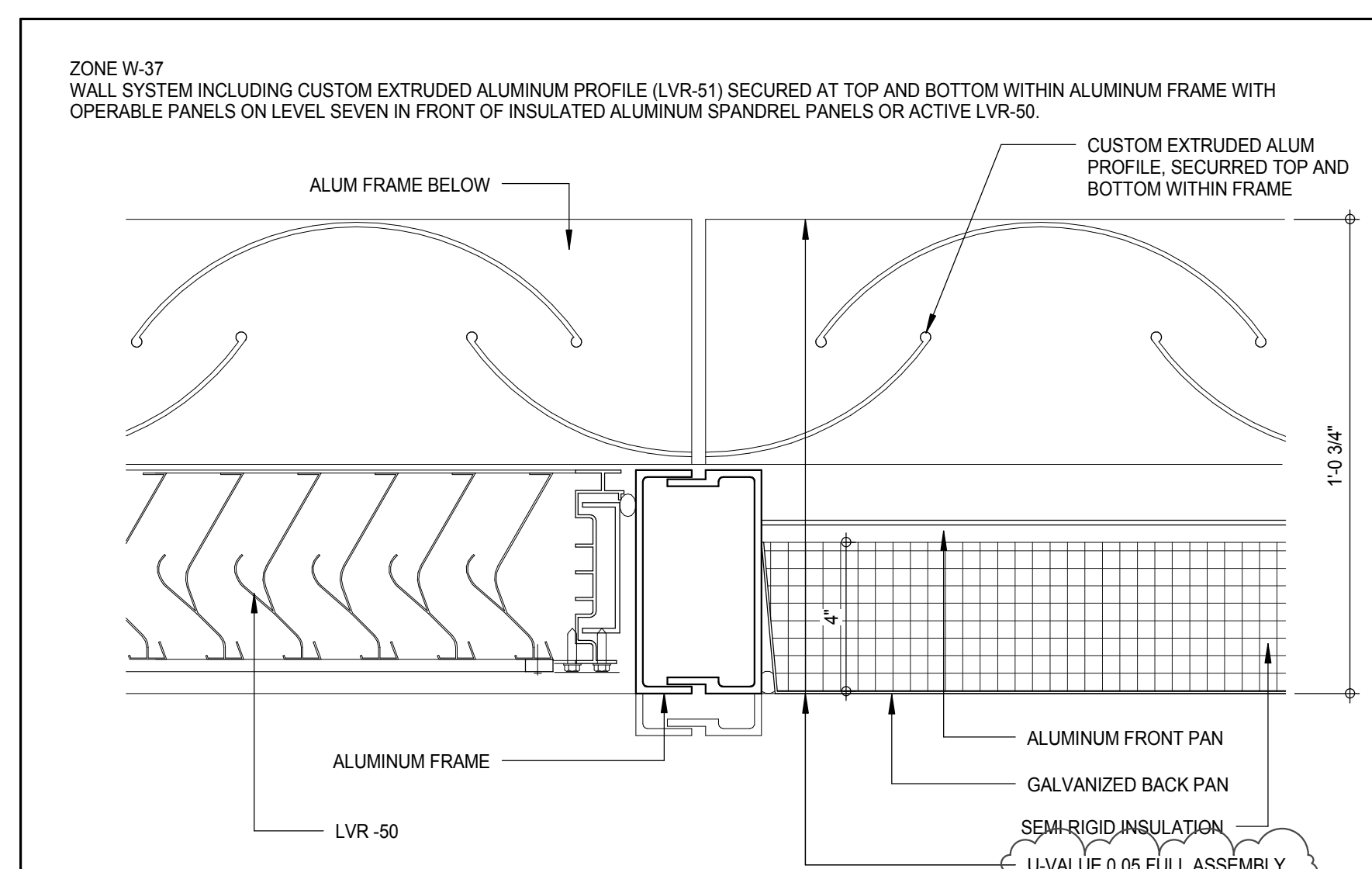
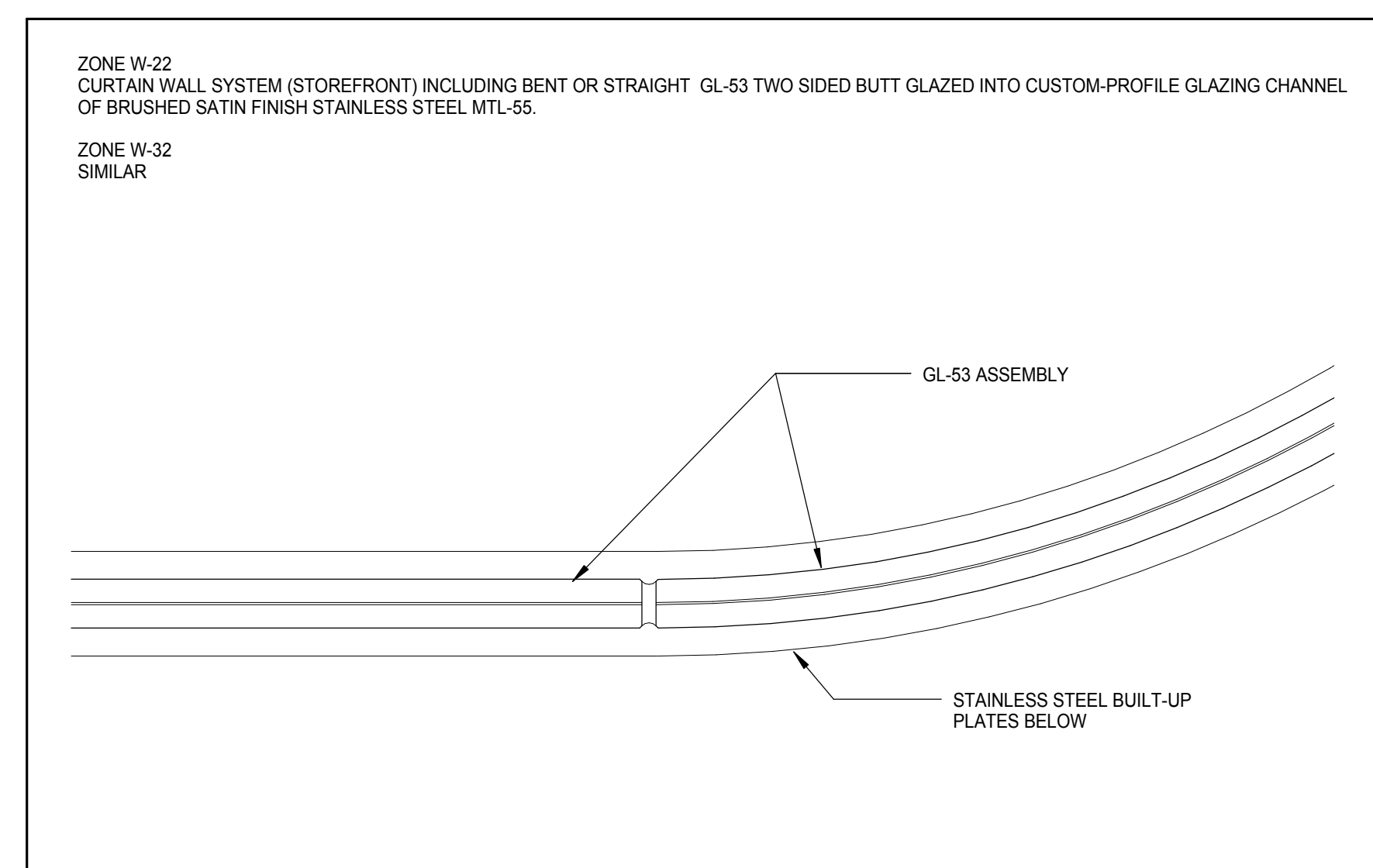
CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: **217 WEST 57TH STREET  
NEW YORK, NY**

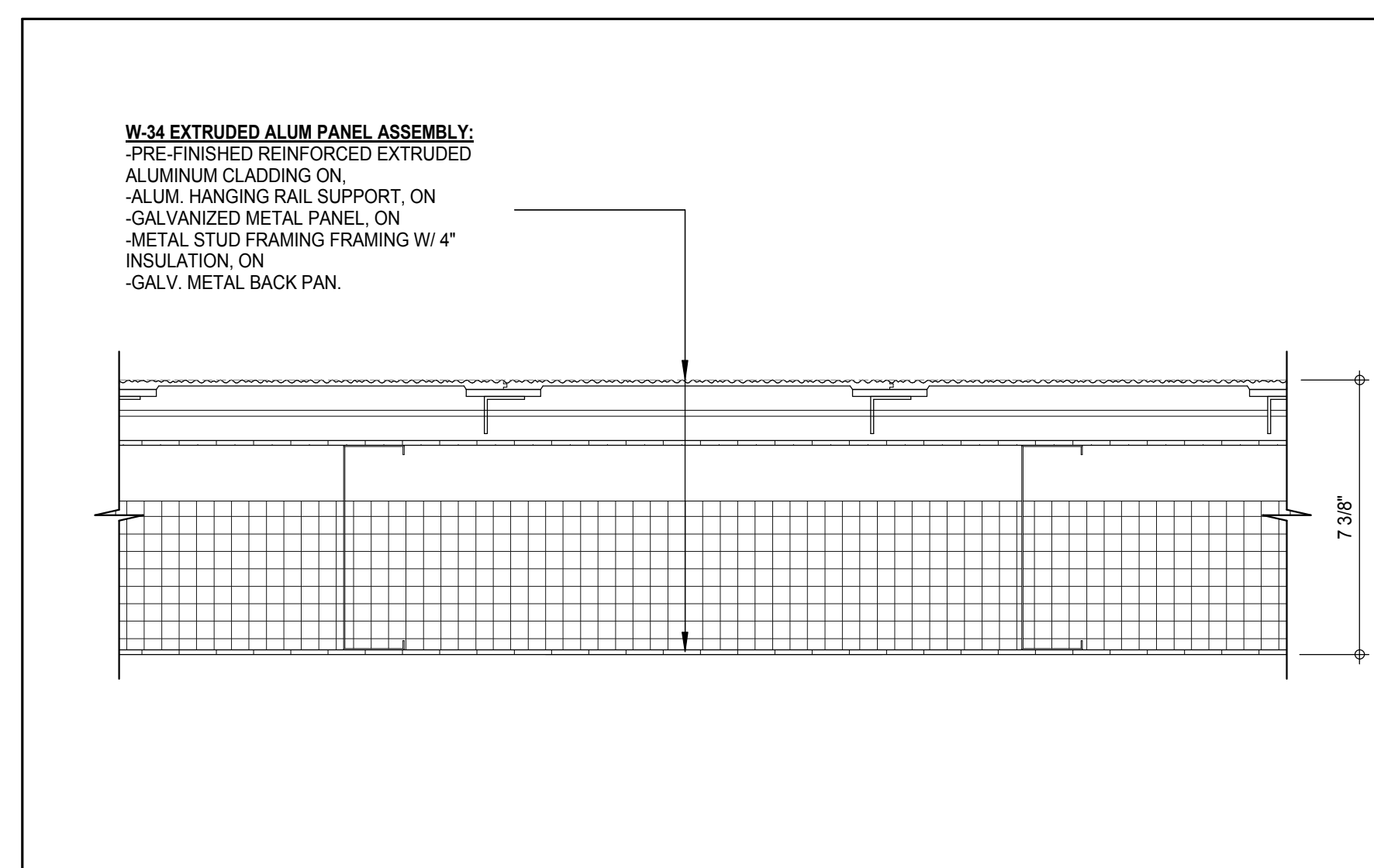
DRAWING TITLE: **CURTAIN WALL ZONES**

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DOB EMPLOYEE STAMP: 	DOB PAGE No: 414 of 569 DOB S-SCAN:

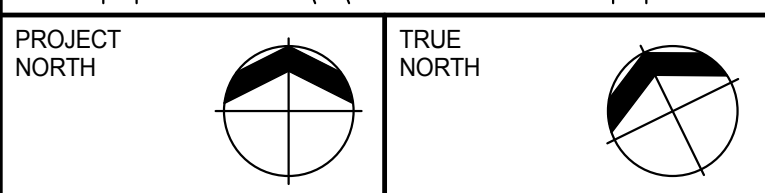
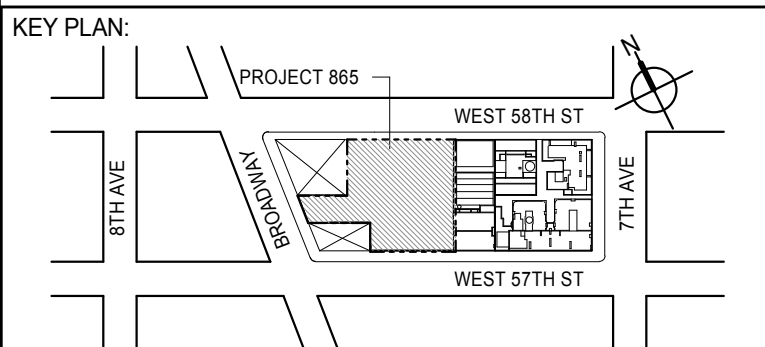
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GROUND FLOOR	E01-05A	E2	7'-9"	9'-0"	
GROUND FLOOR	E01-05B	E2	7'-9"	9'-0"	
GROUND FLOOR	E01-05C	E2	7'-9"	9'-0"	
GROUND FLOOR	E01-05D	E2	7'-9"	9'-0"	
GROUND FLOOR	E01-05E	E2	6'-4"	9'-0"	
GROUND FLOOR	E01-05G	E2	6'-4"	9'-0"	
GROUND FLOOR	E01-05H	E2	6'-4"	9'-0"	
GROUND FLOOR	E01-05J	E2	7'-9"	9'-0"	
GROUND FLOOR	E01-09K	E2	7'-9"	9'-0"	
GROUND FLOOR	E01-09L	E2	6'-4"	9'-0"	
GROUND FLOOR	E01-09M	E2	6'-4"	9'-0"	
GROUND FLOOR	E01-06	E3	3'-6"	7'-6"	
GROUND FLOOR	E01-07	E3	3'-6"	7'-6"	
GROUND FLOOR	E01-11	E3	3'-6"	7'-6"	
GROUND FLOOR	E01-12	E3	3'-6"	7'-6"	
GROUND FLOOR	E01-13	E3	3'-6"	7'-6"	
GROUND FLOOR	E01-14A	E3	3'-0"	7'-6"	
GROUND FLOOR	E01-14B	E3	3'-0"	7'-6"	
GROUND FLOOR	E01-14C	E12	8'-0"	9'-0"	
GROUND FLOOR	E01-14D	E12	8'-0"	9'-0"	
GROUND FLOOR	E01-15	E3	3'-6"	7'-6"	
GROUND FLOOR	E01-16	E2	3'-0"	9'-0"	
GROUND FLOOR	E01-18	E2	3'-0"	9'-0"	
GROUND FLOOR	E01-19	E4	3'-0"	9'-0"	
GROUND FLOOR	E01-24A	E2	3'-6"	9'-0"	
GROUND FLOOR	E01-24B	E2	3'-6"	9'-0"	
GROUND FLOOR	E01-24C	E2	7'-9"	9'-0"	
GROUND FLOOR	E01-666F	E2	6'-4"	9'-0"	
GROUND FLOOR	E01-73A	E4	6'-0"	7'-0"	
GROUND FLOOR	E01-73B	E4	6'-0"	9'-0"	
GROUND FLOOR	E01-75A	E4	6'-0"	9'-0"	
GROUND FLOOR	E01-75B	E4	6'-0"	9'-0"	
GROUND FLOOR	E01-89	E3	3'-0"	7'-6"	
LEVEL 02	E02-85	E3	3'-6"	7'-0"	
LEVEL 05	E05-01A	E4	3'-0"	8'-0"	
LEVEL 05	E05-01B	E3	3'-0"	7'-0"	
LEVEL 06	E06-25	E4	5'-0"	7'-6"	
LEVEL 08	E08-01	E5	3'-0"	8'-0"	
LEVEL 08	E08-02	E5	3'-0"	8'-0"	
LEVEL 08	E08-03	E7	3'-0"	8'-0"	
LEVEL 08	E08-04A	E11	3'-6"	8'-0"	
LEVEL 08	E08-04B	E11	3'-6"	8'-0"	
LEVEL 08	E08-05	E11	0"	0"	
LEVEL 08	E08-05A	E11	0"	0"	
LEVEL 08	E08-12C	E11	3'-6"	8'-0"	
LEVEL 08	E08-13	E7	3'-0"	8'-0"	
LEVEL 08	E08-18	E7	3'-0"	8'-0"	
LEVEL 08	E08-30A	E7	3'-0"	8'-0"	
LEVEL 08	E08-30B	E5	3'-0"	8'-0"	
LEVEL 08	E08-30C	E5	3'-0"	8'-0"	
LEVEL 08	E08-30D	E6	3'-0"	8'-0"	
LEVEL 08	E08-30E	E6	3'-0"	8'-0"	
LEVEL 08	E08-30F	E5	3'-0"	8'-0"	
LEVEL 08	E08-63	E6	3'-0"	8'-0"	
LEVEL 08	E08-84B	E11	3'-0 1/2"	8'-0"	
LEVEL 08	E08-85A	E11	3'-6 1/2"	7'-0"	
LEVEL 08	E08-85B	E11	3'-0"	7'-0"	
LEVEL 08	E08-86A	E11	0"	0"	
LEVEL 08	E08-87	E11	0"	0"	
LEVEL 08	E08-87A	E11	0"	0"	
LEVEL 20	E20-01	E9	4'-10"	8'-0"	
LEVEL 20	E20-02	E9	4'-10"	8'-0"	
LEVEL 28	E28-01	E6	3'-0"	8'-0"	
LEVEL 28	E28-02	E6	3'-0"	8'-0"	
LEVEL 47	E47-01	E9	4'-10"	8'-0"	
LEVEL 47	E47-02	E9	3'-10"	8'-0"	
LEVEL 47	E47-03	E10	3'-4"	8'-0"	
LEVEL 47	E47-04	E9	3'-0"	8'-0"	
LEVEL 69	E69-01	E9	4'-10"	8'-0"	
LEVEL 69	E69-03	E10	3'-4"	8'-0"	
LEVEL 71	E71-01	E9	3'-11"	8'-0"	
LEVEL 71	E71-02	E10	4'-10"	8'-0"	
LEVEL 83	E83-01	E11	3'-0"	8'-0"	
LEVEL 83	E83-02	E11	3'-0"	8'-0"	
LEVEL 99	E99-02	E3	3'-6"	7'-6"	
LEVEL 99	E99-03	E3	3'-6"	7'-6"	

MTL-52  
3" x 1'-0"ZONE W-23  
3" x 1'-0"ZONE W-33  
3" x 1'-0"ZONE W-25  
3" x 1'-0"ZONE W-26  
3" x 1'-0"ZONE W-27  
3" x 1'-0"ZONE W-35  
3" x 1'-0"ZONE W-36  
3" x 1'-0"ZONE W-37  
3" x 1'-0"ZONE W-22 (ZONE W-32 SIMILAR)  
3" x 1'-0"

KEYNOTE LEGEND	
TAG #	DESCRIPTION
TIS-2	SEMI-RIGID INSULATION - MINERAL WOOL - 2" R-VALUE: 8.4 U-VALUE: 0.12
TIS-3	SEMI-RIGID INSULATION - MINERAL WOOL - 3" R-VALUE: 12.6 U-VALUE: 0.08
TIS-04	SEMI-RIGID INSULATION - MINERAL WOOL - 4" R-VALUE: 16.8 U-VALUE: 0.05
TIS-6	SEMI-RIGID INSULATION - MINERAL WOOL - 6" R-VALUE: 25.2 U-VALUE: 0.04
TIR-02	RIGID INSULATION - 2" R-VALUE: 10 U-VALUE: 0.1
TIR-03	RIGID INSULATION - 3" R-VALUE: 15 U-VALUE: 0.07
TIR-04	RIGID INSULATION - 4" R-VALUE: 20 U-VALUE: 0.05
TIR-05	RIGID INSULATION - 5" R-VALUE: 25 U-VALUE: 0.04

ZONE W-34  
3" x 1'-0"ZONE W-34  
3" x 1'-0"

PODIUM MATERIAL DESIGNATIONS			
MATERIAL CODE	DESCRIPTION	LOCATION	MANUF #
<b>GLASS</b>			
GL-51	DOUBLE CURVED INSULATED GLASS UNIT CONSISTING OF: -5/16" (AN) LOW IRON GLASS LITE + -060 PVB INTERLAYER + -5/16" (AN) LOW IRON GLASS LITE + -1/2" AIR SPACE W/ BENT GREY SPACER + -5/16" (AN) LOW IRON GLASS LITE + -060 PVB INTERLAYER + -5/16" (AN) LAMINATED INNER LITE #1 SURFACE SHALL RECEIVE GREY MICRODOT FRIT (SEE SPECIFICATION)		
GL-52	CURVED MONOLITHIC GLASS ASSEMBLY CONSISTING OF: -3/8" (AN) LOW IRON GLASS LITE + -060 PVB INTERLAYER + -3/8" (AN) LOW IRON GLASS LITE #1 SURFACE SHALL RECEIVE GREY MICRODOT FRIT (SEE SPECIFICATION)		
GL-53	LAMINATED ASSEMBLY: -3/4" CLEAR LOW IRON (AN) + -060 IONOPLAST INTERLAYER (SGP) + -3/4" CLEAR LOW IRON (AN) CURVED WHERE INDICATED ON DRAWINGS	STOREFRONT	
GL-54	INSULATED LAMINATED ASSEMBLY: -3/8" CLEAR LOW IRON (FT) WITH VE 15-85 LOW-E COATING ON #2 SURFACE (SEE SPECIFICATION) + -1/2" ARGON FILLED AIR SPACE + -1/4" CLEAR LOW IRON (AN) + -060 PVB INTERLAYER + -1/4" LOW IRON (AN)	5TH FLOOR TERRACE, EMPLOYEE ENTRANCE	
GL-56	RESERVED		
GL-57	LAMINATED ASSEMBLY: -1/2" CLEAR LOW IRON (FT) + -060" IONPLAST + -1/2" CLEAR LOW IRON (FT)	5TH FLOOR TERRACE GUARDRAIL	
GL-58	LAMINATED ASSEMBLY -1/4" ACID ETCH LOW IRON (AN) + -060" PVB INTERLAYER + -1/4" CLEAR LOW IRON (AN) WITH MIRROR COATING ON #4 SURFACE	OPAQUE CLERESTORY	
GL-59	LAMINATED ASSEMBLY -3/8" CLEAR LOW IRON (FT) + -060" (PVB) INTERLAYER + -3/8" CLEAR LOW IRON (FT)	DRUM ROOF, REVOLVER GLASS	
GL-60	LAMINATED ASSEMBLY -3/8" CLEAR LOW IRON (FT) + -060" PVB INTERLAYER + -3/8" CLEAR LOW IRON (FT)	REVOLVER DOOR LEAF GLASS	
GL-61	LAMINATED ASSEMBLY -1/4" CLEAR LOW IRON (FT) + -060" PVB INTERLAYER + -1/4" CLEAR LOW IRON (FT)	SWING DOOR GLASS	
GL-62	LAMINATED ASSEMBLY -1/2" CLEAR LOW IRON (FT) + -060" PVB IONPLAST + -1/2" CLEAR LOW IRON (FT) W/ GREY 2mm MICRO DOT PATTERN ON #1 SURFACE (FACING DOWN TO STREET)	EMPLOYEE ENTRY CANOPY GLASS	
<b>LOUVERS</b>			
LVR-50	ALUMINUM LOUVER	ACTIVE AND NON-ACTIVE LOUVERS AT AIR WELL ON 57TH STREET ACTIVE LOUVERS ON 58TH STREET. MTL-51	C/S RSV-5700
LVR-51	CUSTOM EXTRUDED ALUMINUM PROFILE, MTL-51		
<b>METALS</b>			
MTL-50	RESERVED		
MTL-51	EXTERIOR ALUMINUM PAINTED PANEL		
MTL-52	PAINTED ALUMINUM PANEL ON 4" FOILED FACE RIGID INSULATION ON WATERPROOF MEMBRANE ON CONCRETE OR CONCRETE BLOCK WALL	BMU ROOM	
MTL-53	SEE LVR-50		
MTL-54	RESERVED		
MTL-55	STAINLESS STEEL #6 FINISH		
MTL-56	STAINLESS STEEL, #4 FINISH		
MTL-57	EMPLOYEE ENTRY FORMED SCREEN PANEL, CLEAR ANODIZE		
<b>PAVERS</b>			
PAV-51	STEP STONE PAVER, CAL ARCH PAVER, PORCELAIN #1413		
PAV-52	PRECAST CONCRETE PAVERS, 24"x24"	6TH FLOOR TERRACE	
PAV-53	TO MATCH PAV-51, GROUTED IN-PLACE	ENTRANCE	

(AN) = ANNEALED GLASS  
(HS) = HEAT STRENGTHENED  
(FT) = FULLY TEMPEREDPODIUM MATERIAL DESIGNATION  
12" x 1'-0"

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No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 2	19 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 3	09 MAR 15
4	D.O.B. SUBMISSION	27 APR 15
5	CD PROGRESS ISSUE 4	01 JUN 15
6	CD PROGRESS ISSUE 5	10 AUG 15
7	D.O.B. AMENDMENT 2	21 SEP 15

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CONSULTANT:

AAI ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET  
NEW YORK, NY

DRAWING TITLE:

PODIUM ZONES AND MATERIAL DESIGNATION

SEAL &amp; SIGNATURE: PROJECT No: 1216-00

DATE: 19 DEC 14

DRAWN: Author

CHECKED: Checker

SCALE: As Indicated

DWG No: A-802.01

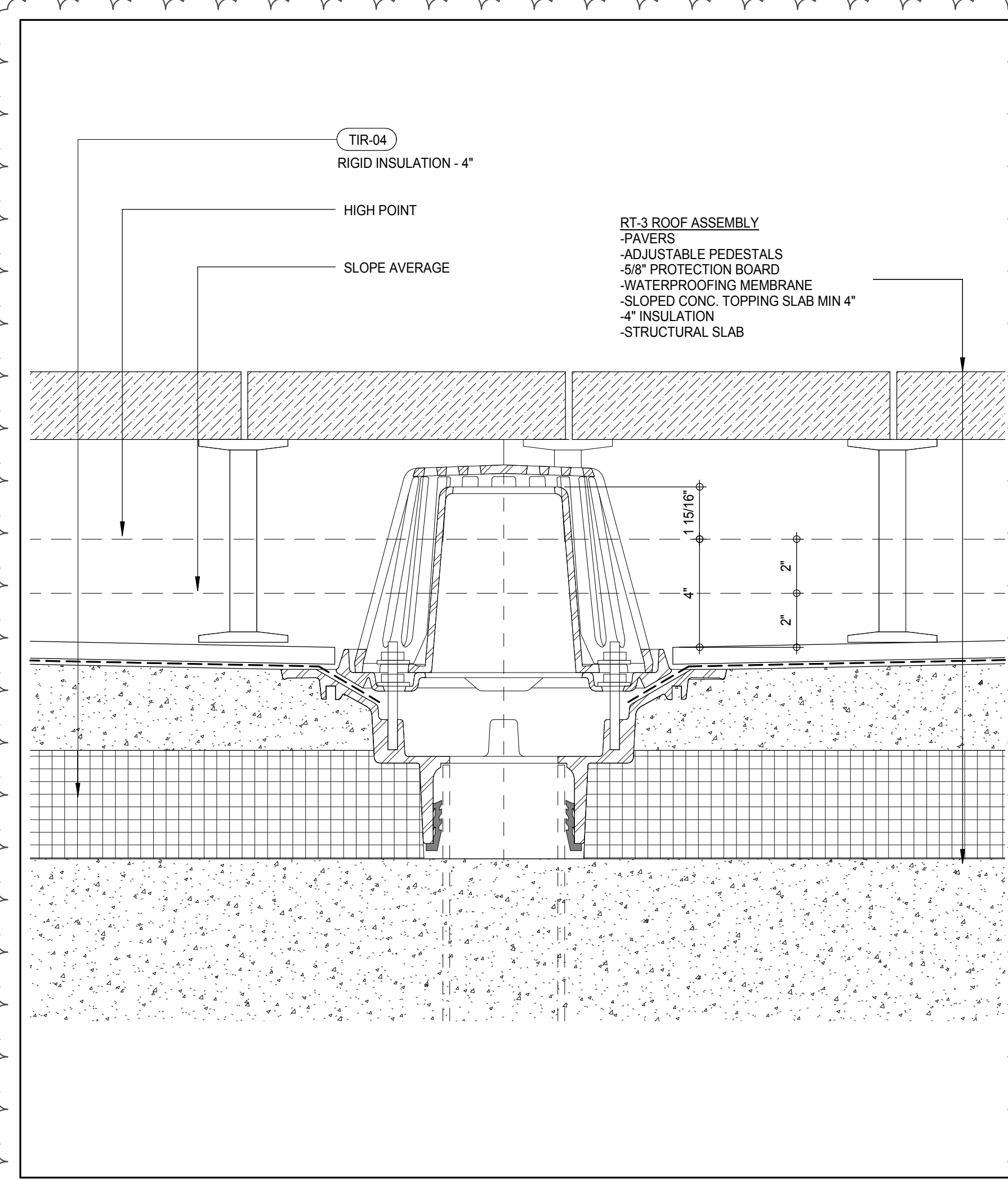
DOB PAGE No: 415 of 569

DOB EMPLOYEE STAMP: DOB S-SCAN:

Damian Titus

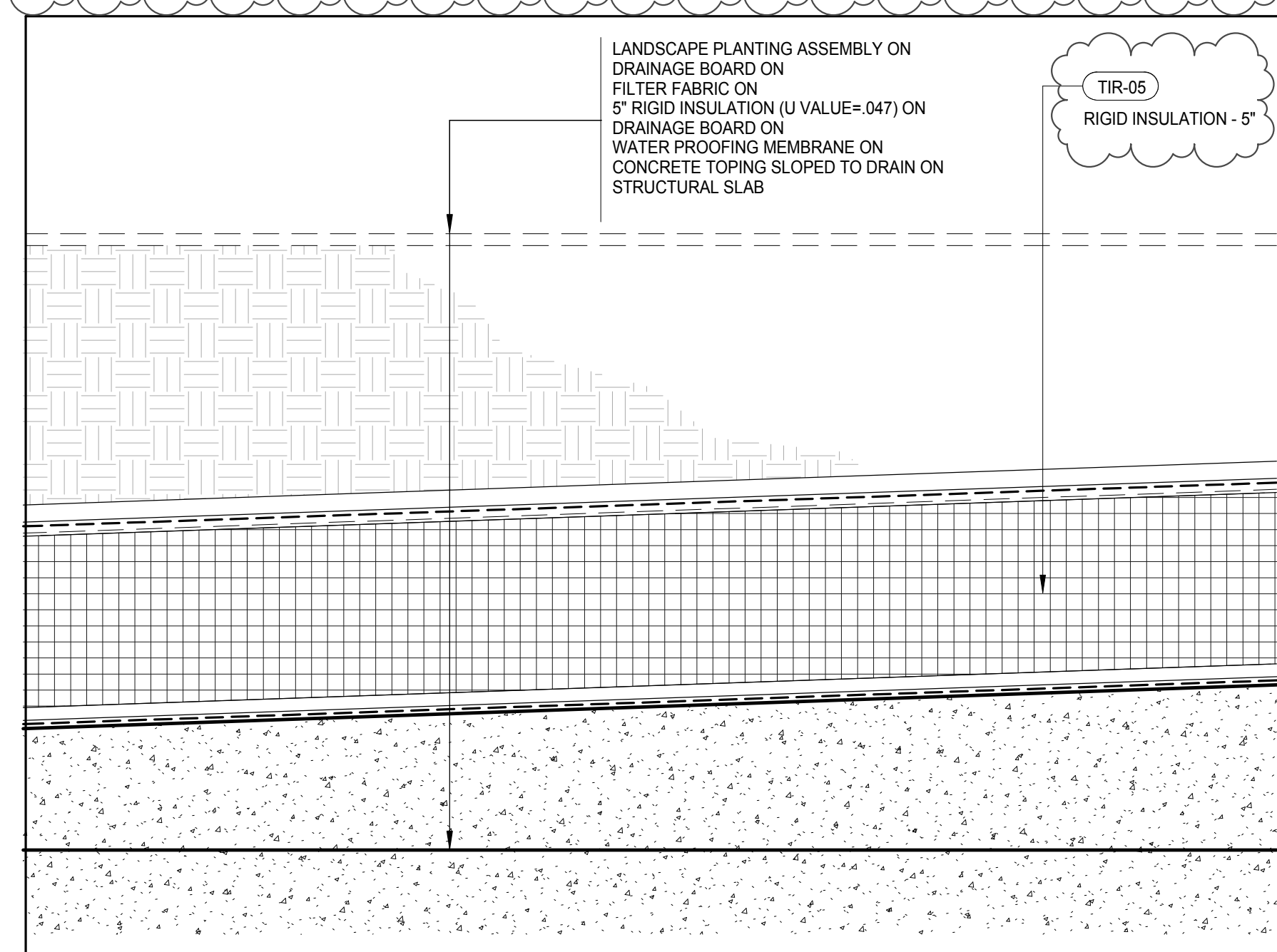
APPROVED Under Review of 30%

NYC Development Hub



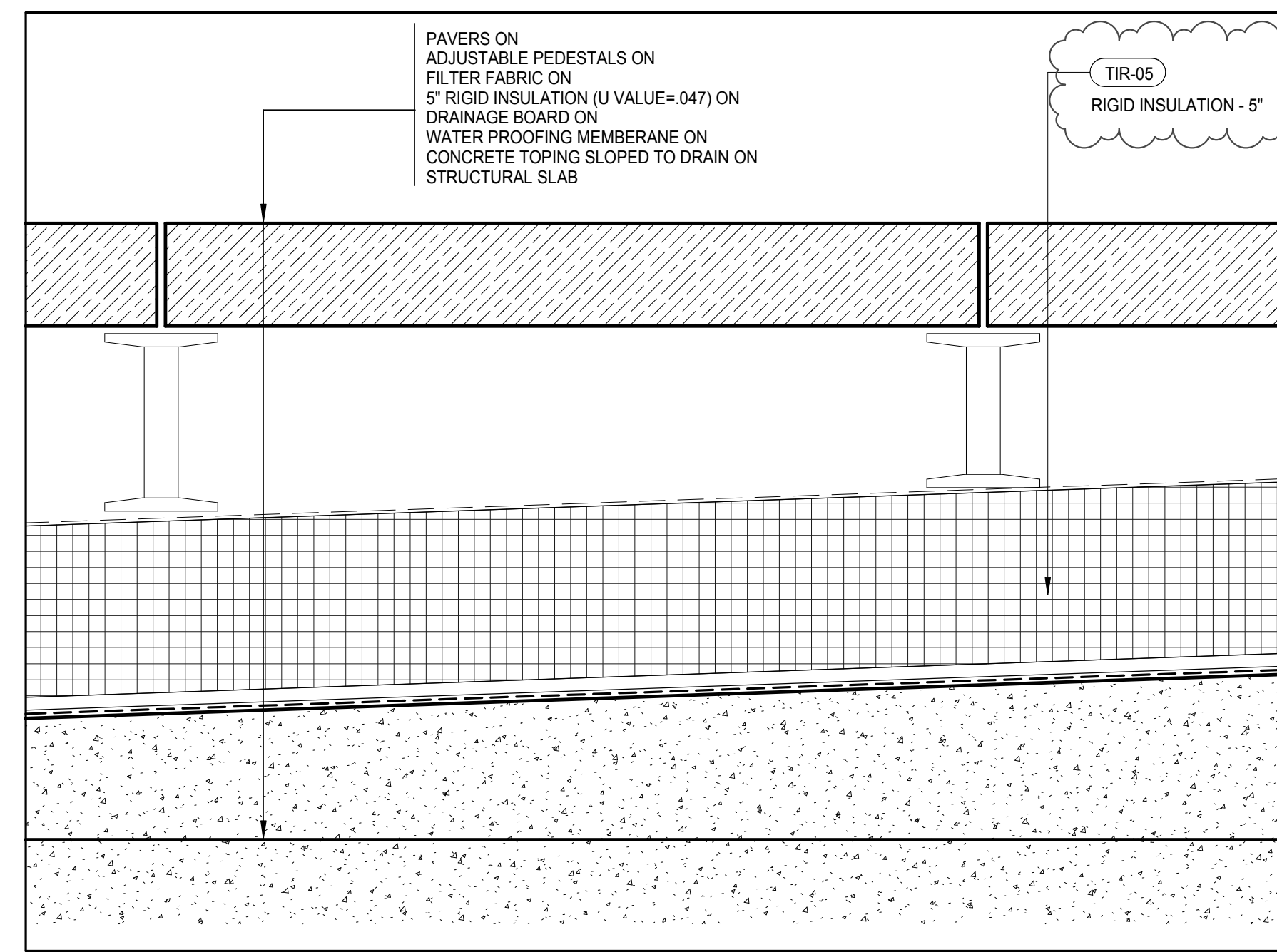
ROOF TYPE RT-03

3" = 1'-0"



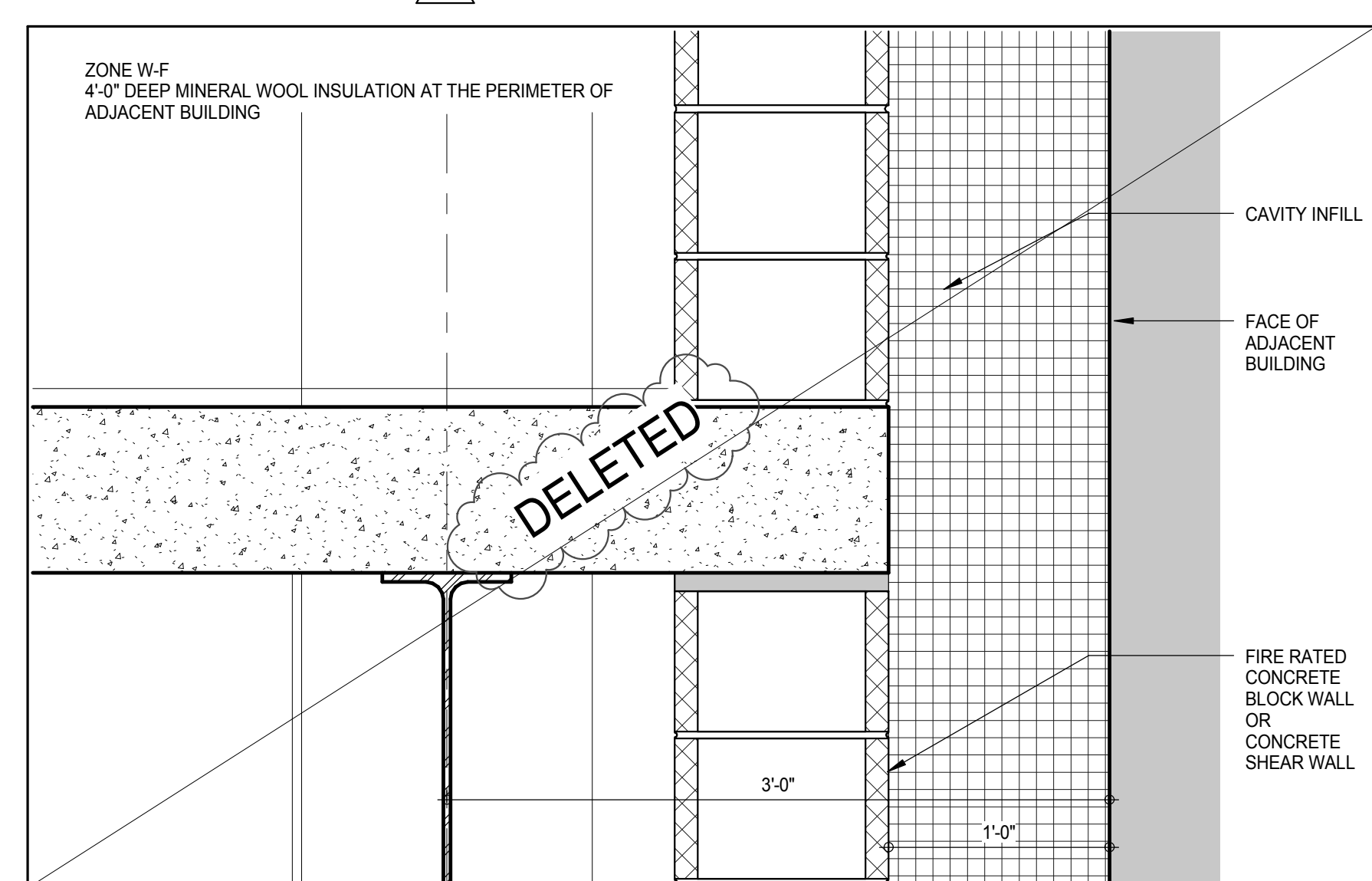
ROOF TYPE RT-02

3" = 1'-0"



ROOF TYPE RT-01

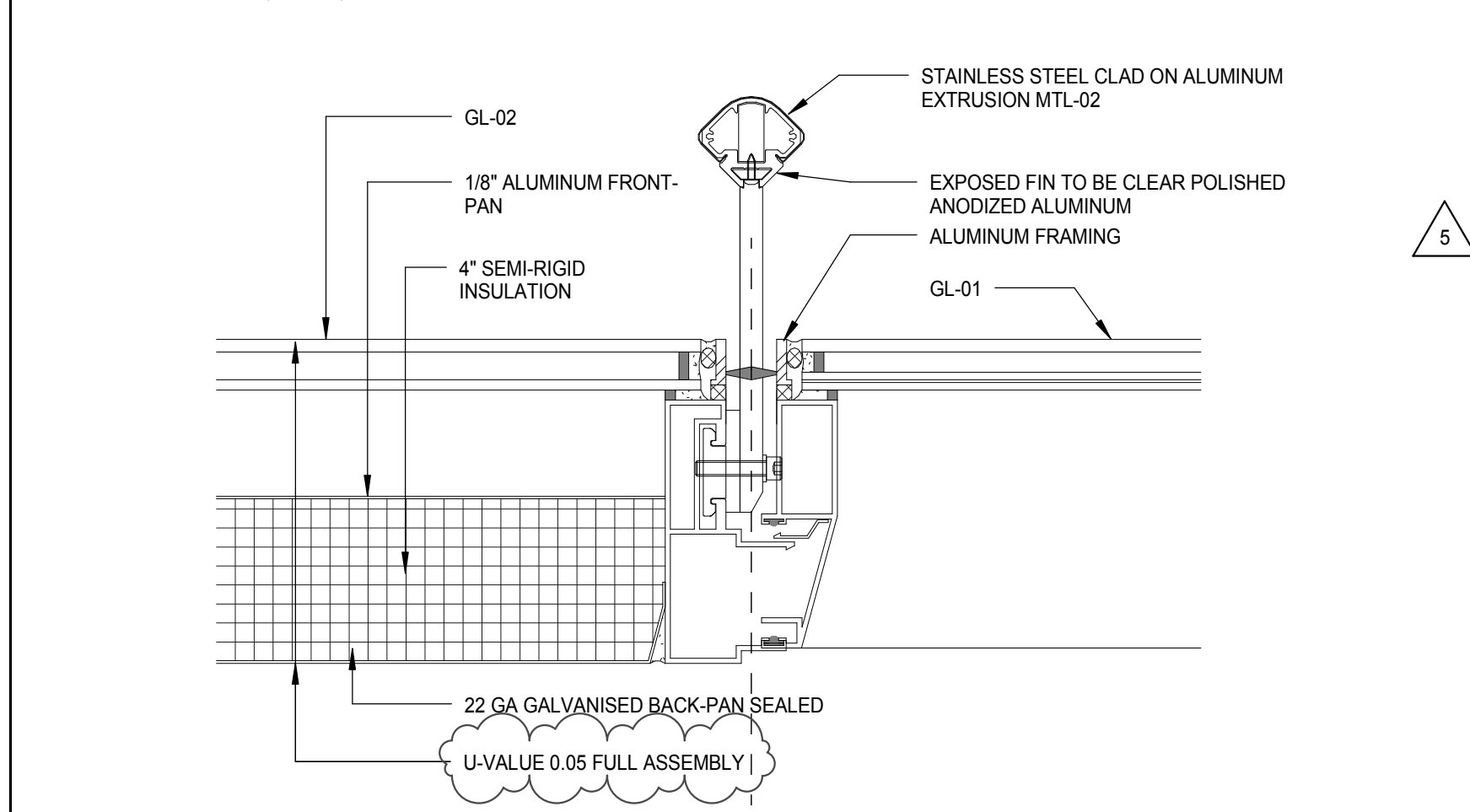
3" = 1'-0"



ZONE W-F

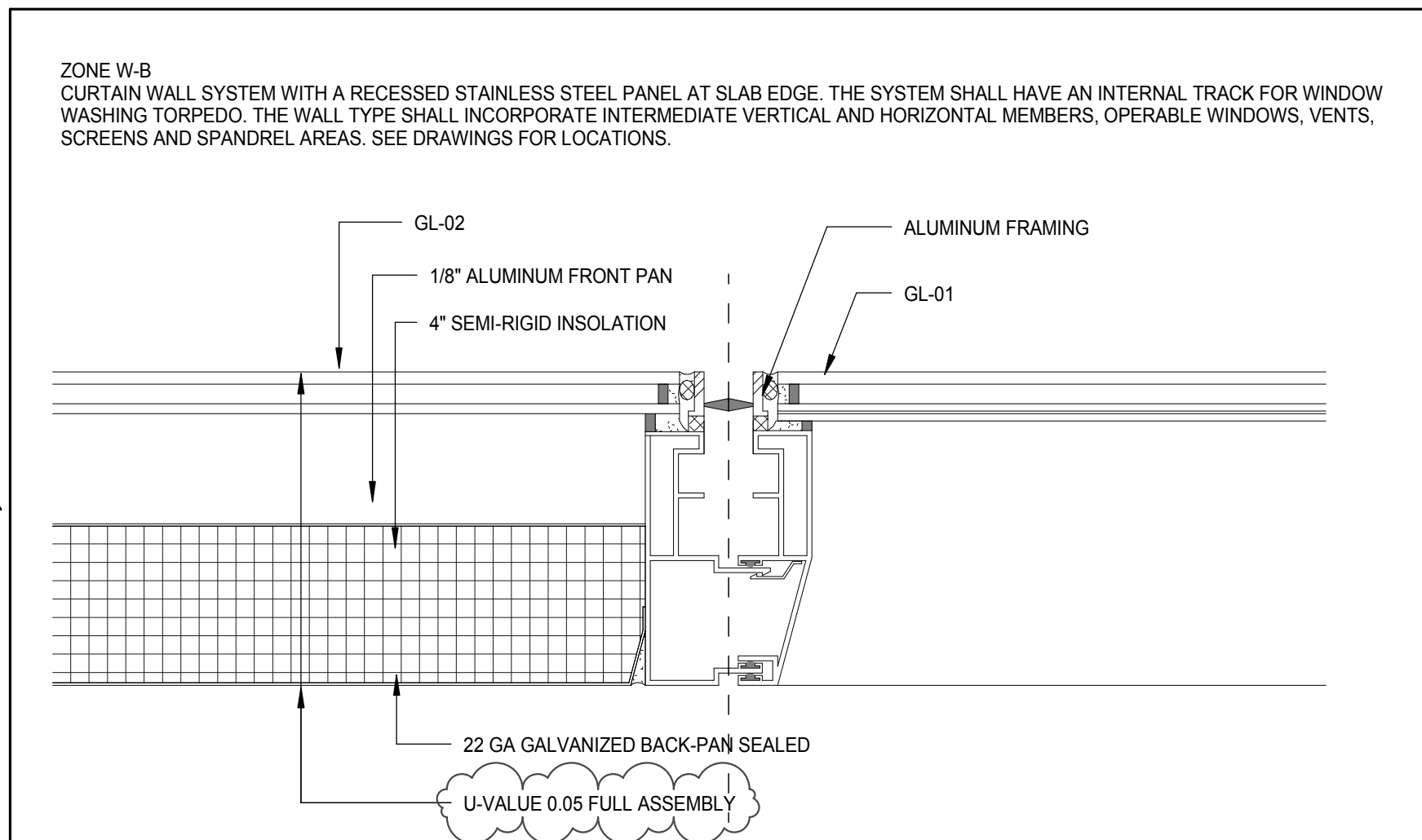
1 1/2" = 1'-0"

ZONE W-A  
CURTAIN WALL SYSTEM WITH VERTICAL ALUMINUM FIN CLAD IN STAINLESS STEEL THAT SPAN THE PANEL'S FULL HEIGHT. THE FIN FEATURE ALSO PROVIDES AN EXTERNAL WINDOW WASHING TRACK. THE WALL TYPE SHALL INCORPORATE INTERMEDIATE VERTICAL AND HORIZONTAL MEMBERS, OPERABLE WINDOWS, VENTS, SCREENS AND SPANDREL AREAS. SEE DRAWINGS FOR LOCATIONS.



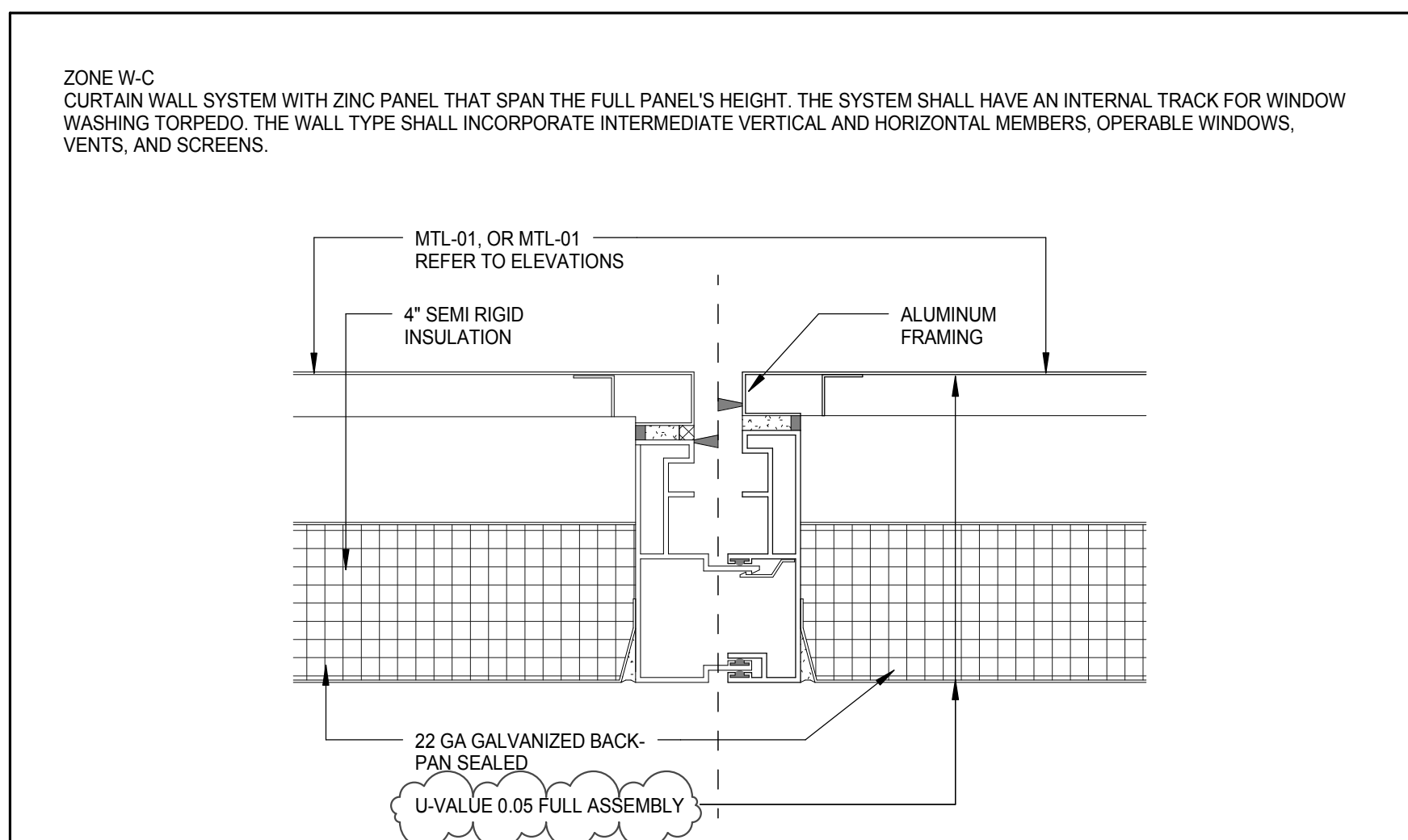
ZONE W-A

3" = 1'-0"



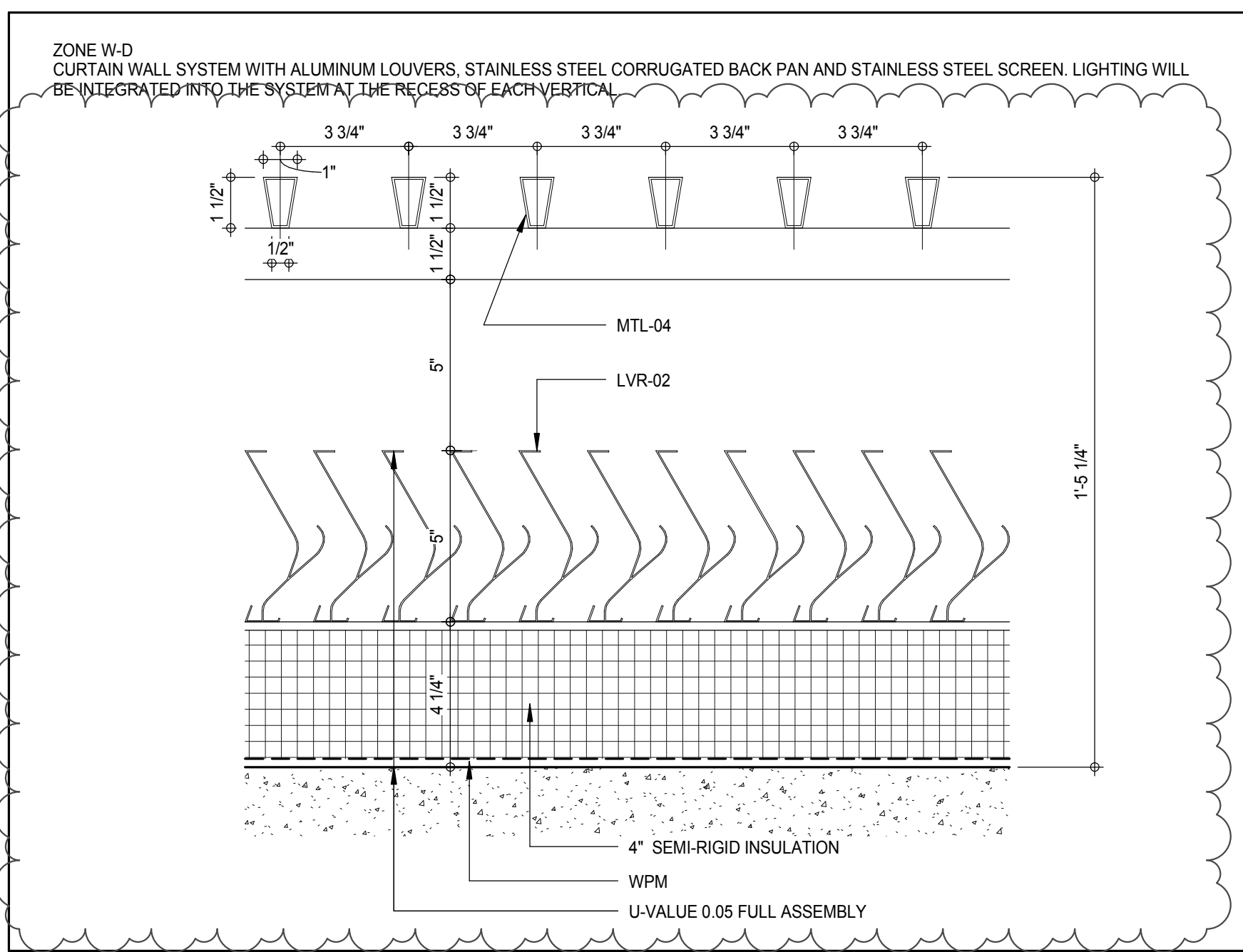
ZONE W-B

3" = 1'-0"



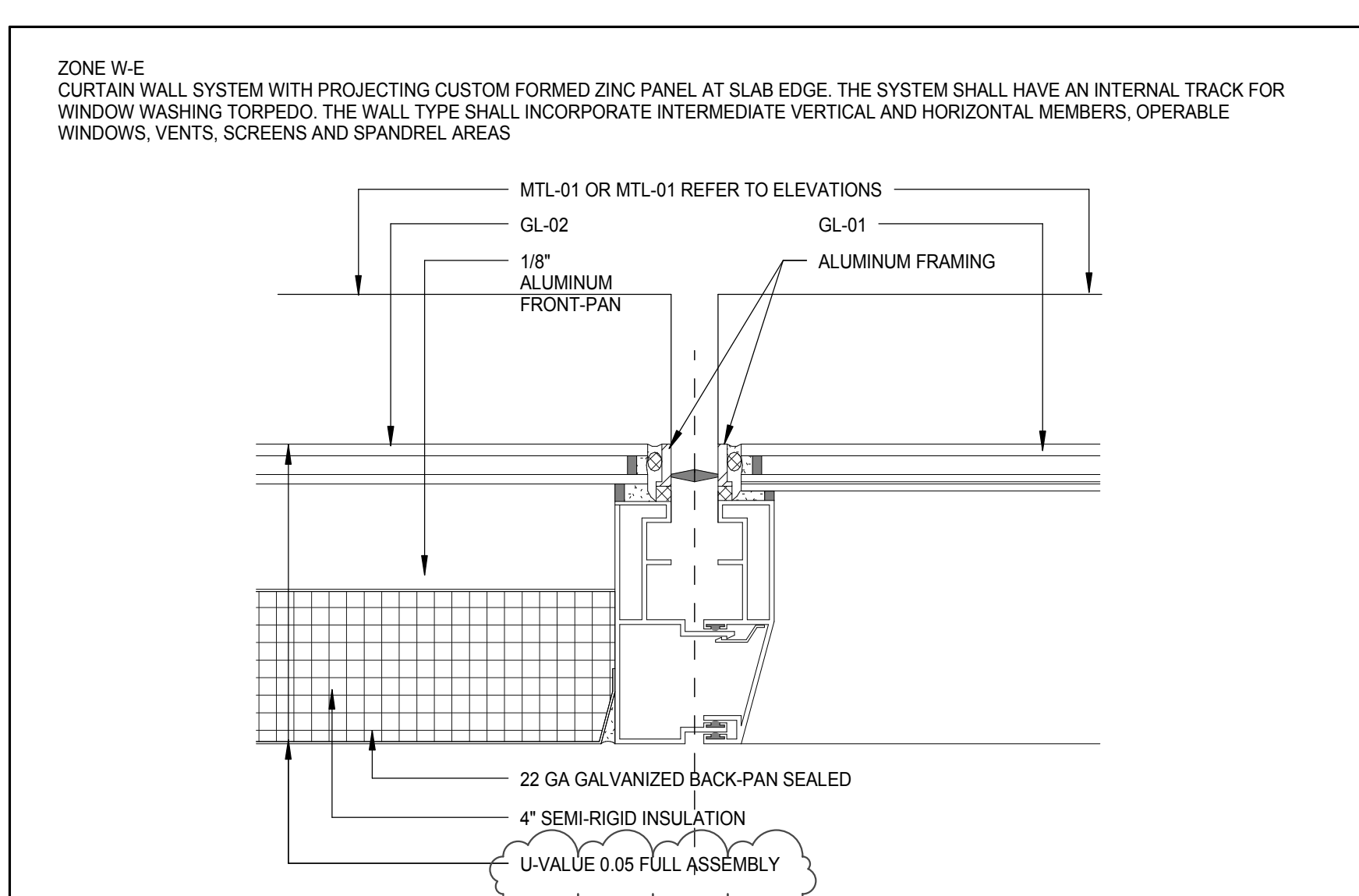
ZONE W-C

3" = 1'-0"



ZONE W-D

3" = 1'-0"



ZONE W-E

3" = 1'-0"

TOWER MATERIAL DESIGNATIONS			
MATERIAL CODE	DESCRIPTION	LOCATION	MANUF #
RT-01	BUILT UP ROOF ASSEMBLY INCLUDING PAVERS ON ADJUSTABLE PEDESTALS ON FILTER FABRIC ON 5" RIGID INSULATION (U-VALUE=0.07) ON 3/8" DRAINAGE BOARD ON WATER PROOFING MEMBRANE ON CONCRETE TOPPING SLOPED TO DRAIN ON STRUCTURAL SLAB	ROOFS AND TERRACES	
RT-02	LANDSCAPE PLANTING ASSEMBLY INCLUDING DRAINAGE BOARD ON WATER PROOFING MEMBRANE ON FABRIC FILTER ON 5" RIGID INSULATION (U-VALUE=0.07) ON 3/8" DRAINAGE BOARD ON WATER PROOFING MEMBRANE ON CONCRETE TOPPING SLOPED TO DRAIN ON STRUCTURAL SLAB	LEVEL 8 TERRACE	
RT-03	-PAVERS ON -ADJUSTABLE PEDESTALS ON -5/8" PROTECTION BOARD ON -WATERPROOFING MEMBRANE ON -SLOPED CONC. TOPPING SLAB MIN 4" ON -4" INSULATION ON -STRUCTURAL SLAB	LEVEL 2, 5, AND 6	

EXTERIOR WINDOW SCHEDULE				
TYPE	WIDTH	HEIGHT	WINDOW AREA	OPENING ANGLE
W-1	1'-10 1/4"	6'-7 3/4"	12.32 SF	45.00°
W-2	1'-10 1/4"	7'-7 3/4"	14.18 SF	46.00°
W-3	1'-10 1/4"	10'-2 3/4"	18.97 SF	47.50°

TOWER MATERIAL DESIGNATIONS			
MATERIAL CODE	DESCRIPTION	LOCATION	MANUF #
GL-01	1 3/8" INSULATED VISION GLASS OUTSIDE: 5/16" (8MM) H.S. IPAWHITE, EDGES ARRISSED, IPASOL PLATIN 46/31 ON SURFACE #2 AIR SPACE: 1/2" (12MM) BLACK S/S AIR SPACER INSIDE: 1/4" (6MM) H.S. LAMINATED IPAWHITE, EDGES ARRISSED, 0.06" (1.5MM) PVB	WALL TYPE - W-A, B, E VISION PANEL	INTERPANE 46/31
GL-02	1 3/8" INSULATED SPANDREL GLASS OUTSIDE: 5/16" (8MM) F.T. IPAWHITE, EDGES ARRISSED, IPASOL PLATIN 46/31 ON SURFACE #2 AIR SPACE: 0.785" (20MM) BLACK S/S AIR SPACER INSIDE: 1/4" (6MM) F.T. IPAWHITE, EDGES ARRISSED	WALL TYPE - W-A, B, E SPANDREL PANEL AND TOWER CROWN	INTERPANE 46/31
GL-05	INSULATED LAMINATED VISION PANEL • OUTBOARD LITE: 5/16" "OPTIWHITE" WITH LOW-E COATING, TEMPERED • AIR SPACE: 1/2" • INBOARD LITE: 1/4" "OPTIWHITE", 060" CLEAR PVB, 1/4" "OPTIWHITE", LAMINATED HS	WALL TYPE - W-A SLIDING DOORS, SWING DOORS, AND ADJACENT SAFETY GLAZING PANELS; GROUND FLOOR EXTERIOR WALL AND INTERIOR DOORS, THRU PASSAGE EXTERIOR DOORS.	INTERPANE 46/31
GL-06	INSULATED LAMINATED VISION PANEL • OUTBOARD LITE: 5/16" "CRYSTALGRAY" WITH LOW-E COATING TEMPERED • AIR SPACE: 1/2" • INBOARD LITE: 1/4" CLEAR, 060" CLEAR PVB, 1/4" CLEAR, LAMINATED	WALL TYPES - W-B AND W-E SLIDING DOORS, SWING DOORS, AND ADJACENT SAFETY GLAZING PANELS	INTERPANE 46/31
GL-07	LAMINATED PANEL • OUTBOARD LITE (WALKWAY SIDE): 6MM "PRISMASOLAR" FLUTED GLASS • CLEAR PVB • INBOARD LITE (LOBBY SIDE)??? "OPTIWHITE" CLEAR LOW IRON	THRU-PASSAGE WEST WALL	LAMBERTS / PLKINGTON
GL-08	LAMINATED PANEL • LAMINATED FROSTED GLASS BACKLIT WLED LIGHTING	THRU-PASSAGE CEILING AND WALL	
GL-09	LOW IRON SAFETY GLASS INSTALLED INTO STAINLESS STEEL FRAME LAMINATED PANEL	IN TERRACE GUARDRAIL IN PLACE OF WIRE MESH WHERE GREATER PROTECTION IS REQUIRED.	
LVR-01	STAINLESS STEEL LOUVER	ANGLED LOUVERS AT TOP AND BOTTOM OF W-A MECH. SLOTS	C/S RSH-5700 PEWTER FINISH
LVR-02	STAINLESS STEEL LOUVER	ACTIVE AND NON-ACTIVE LOUVERS BEHIND MTL-04 AT W-A AND W-D	C/S PL-5700 BRIGHT SILVER FINISH
LVR-03	STAINLESS STEEL LOUVER	ACTIVE AND NON-ACTIVE LOUVERS BEHIND MTL-05 AT W-C	C/S PL-5700 BLACK FINISH
LVR-04	STAINLESS STEEL LOUVER	NON-ACTIVE SIGHT PROOF LOUVERS AT TOP AND BOTTOM OF W-D	C/S MW-7315 PEWTER FINISH
MTL-01	316 SERIES STAINLESS STEEL EMBOSSED FINISH	WALL TYPE - W-C AND THRU PASSAGE	NIROSTA HAZE 64
MTL-02	316 SERIES STAINLESS STEEL BRIGHT ANNEALED FINISH	WALL TYPE - W-A SUPER MULLION CAPS	BRIGHT ANNEALED FINISH
MTL-03	316 SERIES STAINLESS STEEL MESH	TERRACE / BALCONY RAILINGS	CUSTOM FABRICATED GKD-ELLIPS 2
MTL-04	316 SERIES STAINLESS STEEL SCREEN BRIGHT ANNEALED FINISH	WALL TYPES - W-A AND W-D (LOUVER SCREEN AND BLANKED OFF PANELS)	
MTL-05	VM ZINC, QUARTZ ZINC FINISH, PERFORATED PANEL	WALL TYPES - W-C (LOUVER SCREEN AND TOP OF TOWER BLADE WALL)	VM ZINC, QUARTZ FINISH
MTL-06	316 SERIES STAINLESS STEEL	RAILING AND CONNECTIONS	FINE BEAD BLAST FINISH
MTL-07	316 SERIES STAINLESS STEEL GRATING	LEVEL 8 TERRACE AND TOP SPIRE MECHANICAL GRILLS	KADEE, KD98
MTL-08	316 SERIES STAINLESS STEEL GUTTERS	DRAINAGE GUTTERS AT TERRACES AND CURTAIN WALL PERIMETER	
MTL-01	VM ZINC, QUARTZ ZINC FINISH, METAL ON HUNTER DOUGLAS QC-200 HONEYCOMB PANEL	WALL TYPES - W-C TOWER BLADE WALL	VM ZINC, QUARTZ FINISH
MTL-11 (R)*	INSULATED METAL PANEL ASSEMBLY WITH INTEGRAL ROCK-WOOL INSULATION	ADJACENT BUILDING CAVITY	* (R) = FIRE RATED PANEL
PAV-01	PRECAST CONCRETE PAVERS (24"x18")	TERRACES PAVING	
FLR-01	TERRAZZO W/STAINLESS STEEL DIVIDER STRIPS	THRU-PASSAGE FLOOR	

TOWER MATERIAL DESIGNATION

12" = 1'-0"

KEY PLAN

PROJECT NORTH

TRUE NORTH

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CONSULTANT:  
**AAI ARCHITECTS, P.C.**

PROJECT:  
**217 WEST 57TH STREET  
NEW YORK, NY**

DRAWING TITLE:  
**TOWER ZONE AND MATERIAL DESIGNATION**

SEAL & SIGNATURE: **DAVID J. HIRSH**  
DATE: PROJECT No. 1216-00  
DRAWN: Author  
CHK: Checker  
SCALE: REV: 5  
DWG No.: **A-803.01**  
DOB PAGE No: 416 of 569  
DOB EMPLOYEE STAMP: **Damian Titus**  
DOB 5-SCAN:

**APPROVED**  
Under Executive's of 2015  
ANY MODIFICATION  
Date: 09/02/2016  
NYC Development Hub